

City of Plymouth Plan Commission

Members: Please notify us if you are unable to attend the meeting.

Chairman; Mayor Don Pohlman

Members:

Jane Meyer

Jeremy Schellin

Greg Hildebrand

Ron Nicolaus

John Wyatt

Justin Schmitz

The City of Plymouth Plan Commission will have a meeting on **Thursday, January 9, 2025 at 6:00 PM** in **Room 305**, City Hall, and Plymouth, WI.

The agenda will be as follows:

- 1.) Approval of Minutes from December 5, 2024.
- 2.) **Site Plan Seeking Approval;** 1237 Pilgrim Rd Plymouth, WI 53073, dba Arch Electric, for the installation of 8 x 8 shed. Rivera (enclosure)
- 3.) **Site Plan Seeking Approval;** 3240 County Rd PP, Weber Family Station, LLC, for parking lot Resurfacing and Expansion. Letter (enclosure)
- 4.) **Site Plan Seeking Approval;** 411 County Rd PP, Masters Gallery Foods Inc., for an Expansion. Yaeger (enclosure)
- 5.) **Site Plan Seeking Approval;** 225-227 E. Mill St. & 52 S. Stafford St., LAG Family, LLC, for building rehabilitation. Gentine (enclosure)
- 6.) **Ordinance Amendment seeking recommendation;** Modifications of Section 13-1-92 regarding parking requirements. Blakeslee (enclosure)
- 7.) **Presentation and Discussion Regarding Conditional Use Permit Process;** Attorney Fieber
- 8.) **Communication – Letters, E-mails, or reports Related to the Plan Commission**
(Chairman, Secretary, Plan Commission Members, City of Plymouth Staff/Alderspersons)

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact City of Plymouth ADA Coordinator Leah Federwisch, located in the Plymouth Utilities office at 900 County Road PP, Plymouth, WI or call 920-893-3853

City of Plymouth Plan Commission

UNOFFICIAL MINUTES

DECEMBER 5, 2024

Mayor Don Pohlman called the meeting to order at 6:00 PM on December 5, 2024. The following members were present Jane Meyer, Jeremy Schellin, Greg Hildebrand, Ron Nicolaus, John Wyatt, and Justin Schmitz. Also present: City Administrator/Utilities Manager Tim Blakeslee, City Clerk Anna Voigt.

- 1.) **Approval of Minutes from November 7, 2024:** Motion was made by Schellin/Nicolaus to approve the minutes from November with one correction. Schellin did not abstain from the motion on item 3. A unanimous aye vote was cast. Motion carried.
- 2.) **Site Plan seeking approval; 1237 Pilgrim Rd Plymouth, WI 53073, dba Arch Electric, for the installation of 8 X 8 shed:** No one was present from Arch Electric. No action was taken.
- 3.) **Parcel seeking a recommendation for an amendment to the 2022 Comprehensive Plan Map; Comp Plan Amendment for Parcel No. 59271821077 currently designated as Commercial in the Comprehensive Plan, Seeking a Residential Designation for the purpose of a new multifamily development:** Mayor Pohlman noted that item 3 and 4 are related and will be discussed at the same time, but voted on separately. Blakeslee explained that the parcel that is being requested for a Comp Plan Amendment and Rezone is located behind Jimmy Johns, Scooters and Advanced Auto Parts. Northtown Partners, previously Van Horn / Plankview Green Development is requesting the Comprehensive Plan Amendment from Commercial to Residential. Staff does recommend this change the parcel to the south is already residential parcel and recently rezoned to R6 and already residential in the Comprehensive Plan. The rezone request is from B3-Highway Business to R6 Multifamily. The properties to the west are zoned B3 to the southeast is vacant land owned by Northtown Partners which is the R6 zoning. Staff does recommend the rezone. Blakeslee noted this would align with the strategic plan for development and more housing options. Conditions established in December 2022 the CSM process for those two parcels, does require the developer to go in an agreement with the City to make sure there is access to a landlocked parcel. Blakeslee also noted that the rezone motion needs to be contingent on a TID amendment approved by the City before anything is built. The City recently approved TID #7. This location was slated to be the Cobblestone Hotel development which would have been commercial. That has now changed to residential. Blakeslee explained the challenge with that is 35% of the property located within the TID is limited to residential. There will have to be a TID amendment to add additional parcels to allow this parcel to be built on as residential property in the TID. Blakeslee will be working with Northtown Partners to achieve this in the next few months. Wyatt asked if there is going to access from the parcel to the south or if its going to be all from Eastern Ave? Blakeslee stated they would have to talk to the developers but he didn't see any plans from access to the south, there are a lot of wetlands to the South. The developer stated the plan is to have the access from Eastern Ave. He didn't think there would be a possibility to have access from the west unless there was an agreement with the shopping center. Motion was made by Hildebrand/Nicolaus to recommend Council

approve Comprehensive Plan amendment contingent on a TID amendment approved by the City before anything is built. Upon the call of the roll, all voted aye. Motion carried.

- 4.) Parcel seeking recommendation for rezoning from current B-3 – Highway Business to R-6 – High Density Multifamily Residential; Rezoning Amendment for Parcel No. 59271821077 currently Zoned as B-3 Highway Business, Seeking R-6 High Density Multi-Family Residential for the purpose of a new multifamily development:** Motion was made by Nicolaus/Schmitz to recommend Council approve the Rezone on parcel 59271821077. Nicolaus added to make sure the parcel has access to it and doesn't become landlocked. Upon the call of the roll, all voted aye. Motion carried.
- 5.) Ordinance Amendment seeking recommendation; Modifications of Section 13-1-75 regarding outdoor detached heating systems:** Blakeslee explained that this code in Plymouth, detached heating systems are regulated only for structures that allow human habitation per code. To install a detached heating system, there are requirements; it must be manufactured, must meet code requirements, but also must meet distance requirements from other properties. A lot of the requirements are for smoke and how tall the chimney needs to be. This is to avoid causing a public nuisance for other properties. Blakeslee explained the ordinance includes the heating system not to be located in a front or street yard, less than 100 feet from the lot line. Blakeslee added some the smaller lots it would prohibit the use. The appliance shall be per the manufacturer. If the structure meets the requirements it has to be 100 to 200 feet away from adjoining property and the chimney needs to be certain height. Blakeslee stated that an unexpected consequence that happened with the code was created is detached heating systems are not currently regulated when attached to structures that are unsuitable for human habitation, for example a pool. In July 2024 a resident raised concerns about a detached heating system in their neighborhood being used to burn wood constantly to heat a pool, causing constant smoke in the area. Alder Nelson requested that this item be place on the Committee of Whole agenda for discussion. Committee of the Whole did recommend to move forward with this ordinance. This ordinance does come to the Plan Commission since it's a zoning code amendment. Blakeslee explained that recommended amendment is a quick tweak that would require all detached heating systems, regardless of whether they are for human habitation or not. Blakeslee noted that because this is a zoning code item, structures like this would typically be grandfathered in because it is a zoning code. However, in talking with the former building inspector this type of item would've also required a permit to be pulled. The pool did have a permit, but the heater did not. In passing this code it would prohibit this item in the future, but there are some issues with the current system as well. Pohlman clarified this item is if passed by Plan Commission would go to Council for final approval. Motion was made by Nicolaus/Schmitz to recommend Council approve an Ordinance related to Section 13-1-75(f) regarding detached heating systems. Niclaus asked what happened to the pool? Blakeslee stated he believes the pool is still there. Blakeslee stated he hasn't been over there in a while to check on the heater. Hildebrand added the heater has been taken down. Blakeslee stated he needs to check with the City Attorney to what to do moving forward. Pohlman added regarding grandfathering in, if there was a violation regarding a permit to begin with, there would be a question as to whether it could still be grandfathered in. Upon the call of the roll, all voted aye. Motion carried.
- 6.) Communication – Letters, E-mails, or reports Related to the Plan Commission:** Discussion about the January meeting date. To have the meeting on January 2 or January

9. Commission to agree to keep it on January 9. Blakeslee also mentioned Wangard started moving dirt and the downtown Laack project has started demo and will likely be at the next Plan Commission Meeting.

7.) Motion was made by Nicolaus/Schmitz to adjourn the meeting. A unanimous aye vote was cast. Motion carried.

FEE: \$ _____ PAID: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

CITY OF PLYMOUTH
PLAN COMMISSION SUBMITTAL APPLICATION
Revised June 2019

Completed application must be filed with the Zoning Administrator's Office, Plymouth City Hall, 107 Smith Street, RM 205, Plymouth, WI 53073. Alternatively, the application may be filed with the City Clerk's Office at City Hall. To be placed on the agenda of the Planning Commission, application materials must be filed approximately 4 weeks prior to the date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Sabrina Rivera
ADDRESS: 6280 S Howell Avenue Milwaukee, WI 53207
E-MAIL ADDRESS: srivera1@tuffshed.com
PHONE: (847) 243-3070 FAX NO.: ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

(use of attachments is acceptable)

NAME OF PROPOSED/EXISTING BUSINESS: Arch Electric
ADDRESS OF SITE AFFECTED: 1237 Pilgrim Rd Plymouth, WI 53073
NEW BUILDING: SHED ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: Customer proposes build of small storage shed (64 sq. ft.) on property. Shed is 10 feet from primary structure and prefabbed in warehouse then built onsite.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: Primary

structure appears to be wood frame and some masonry work. Two story commercial building.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS:

Build is wood frame and will be anchored to concrete with shed floor.

3. NAMES AND ADDRESSES

OWNER OF SITE: Arch Property of Wisconsin LLC

ADDRESS: 1237 Pilgrim Rd Plymouth, WI 53073

PHONE: (920)893-8388 FAX NO.: ()

ARCHITECT: Tom Saurey

ADDRESS: 11039 Gage Avenue, Franklin Park, IL 60131

E-MAIL ADDRESS: srivera1@tuffshed.com

PHONE: (847) 243-3070 FAX NO.: ()

CONTRACTOR: Tuff Shed

ADDRESS: 6280 S Howell Avenue Milwaukee, WI 53207

PHONE: (847) 243-3070 FAX NO.: ()

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design, colors and appearance of the proposed building or structure.
- B. Provide fourteen 11 X 17 colored renderings of the proposed building elevations and list materials utilized for exterior finish.
- C. A scale drawing of the site plan showing the relationship of the building to the site boundaries and adjacent properties.

D. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Sabrina Rivera
APPLICANT'S SIGNATURE

11/7/2024
DATE

Sabrina Rivera
PRINT ABOVE NAME

OFFICE USE ONLY

ACTION BY CITY OF PLYMOUTH PLAN COMMISSION

DATE OF MEETING: _____

APPROVED: _____

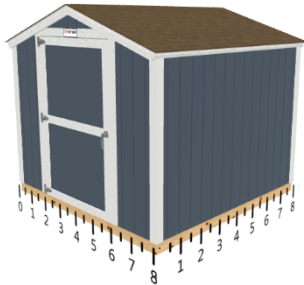
CONDITIONALLY APPROVED: _____

DENIED: _____

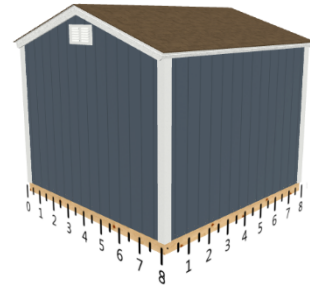
CONDITIONS

SIGNATURE: _____
Zoning Administrator

DATE: _____

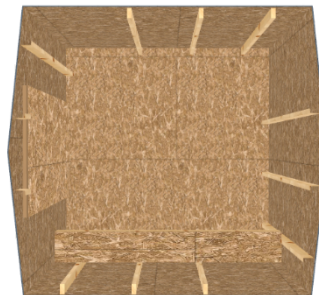


Wall A



Wall C

Wall D



Wall B

Base Details/Permit Details

Building Size & Style

KR-600 - 8' wide by 8' long

Door

4' x 6'2" Single Shed Door, Left Hinge Placement

Paint Selection

Base: Goblin, Trim: Delicate White

Roof Selection

Golden Cedar 3 Tab

Drip Edge

White

Is a permit required for this job?

Yes

Who is pulling the permit?

Tuff Shed

Optional Details

- Floor and Foundation

Interior

8 Lin Ft Shelving - 12" deep

Vents

16"x8" Wall Vent - White

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it?

No

Is there a power outlet within 100 feet of installation location?

Yes

The building location must be level to properly install the building. How level is the install location?

Within 4" of level

Will there be 18" of unobstructed workspace around the perimeter of all four walls?

Yes

Can the installers park their pickup truck & trailer within approximately 200' of your installation site?

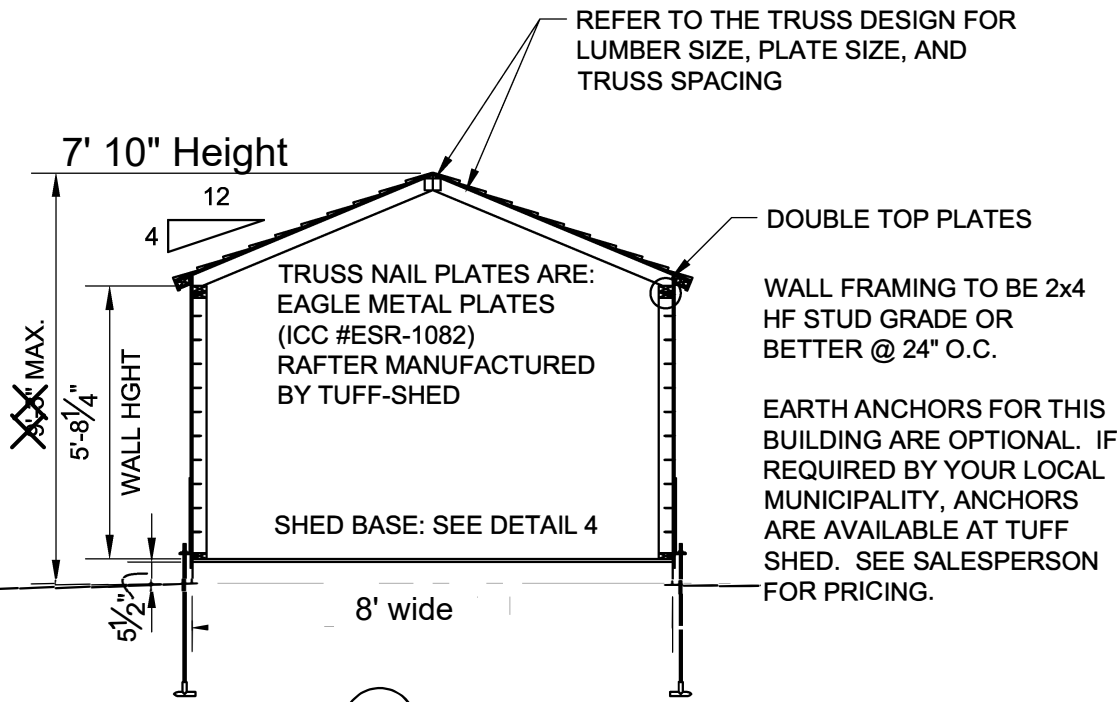
Yes

Substrate Shed will be installed on?

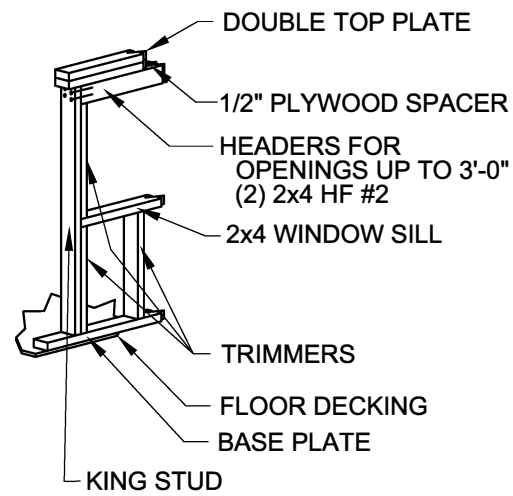
Anchored to Concrete with Shed Floor

Customer Signature: _____ Date: _____

GR SHED 8' WIDE x 8' LONG GARDEN SERIES



1 BUILDING SECTION
SCALE: N.T.S.



FOR WINDOW OPENINGS UP TO 3'-0" ON PREMIER SERIES SIDE WALLS

2A WINDOW HEADER DETAIL FOR LOAD BEARING WALLS
SCALE: N.T.S.

SIDE DOORS ARE NOT AVAILABLE ON THIS MODEL

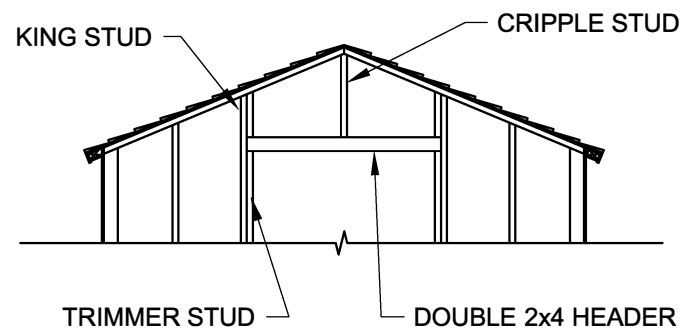
2B DOOR HEADER DETAIL FOR LOAD BEARING WALLS
SCALE: N.T.S.

NOTES:

- BUILDING CODE:** 2015 IBC & 2015 IRC
- DESIGN LOADING:**
WIND SPEED & EXPOSURE: 110C
ROOF LIVE LOAD: 30 PSF
ROOF DEAD LOAD: 10 PSF
- FOR SHEDS WHICH OTHERWISE MEET THE PRESCRIPTIVE REQUIREMENTS OF THE 2015 IBC & 2015 IRC ALL SHEDS CONSTRUCTED ACCORDING TO STANDARD CONVENTIONAL CONSTRUCTION METHODS.

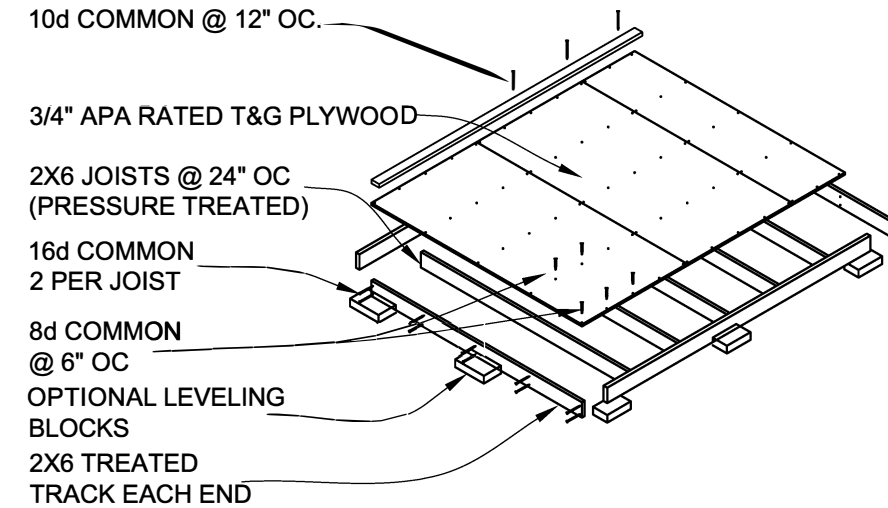
NAILING:

- ROOF:**
ATTACH 7/16" OSB SHEATHING TO TRUSSES WITH:
8d NAILS @ 6" O.C. AT EDGES
8d NAILS @ 12" O.C. IN FIELD
- WALLS:**
ATTACH 3/8" SMARTSIDE TO WALL FRAMING WITH:
8d NAILS @ 6" O.C. AT EDGES.
8d NAILS @ 12" O.C. IN FIELD
- HEADER:**
ATTACH HEADER TO STUD WITH:
4-8d TOENAIL OR 4-16d END NAIL DOUBLED HEADER-16d @ 16" STAGGERED FACE NAIL



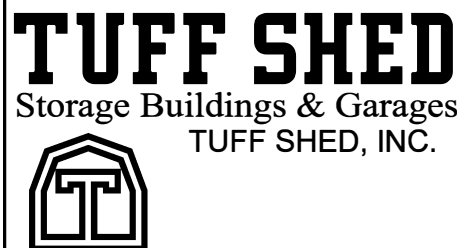
FOR OPENINGS UP TO 4'-0" WIDE

3 HEADER DETAIL FOR NON-LOAD BEARING WALLS
SCALE: N.T.S.



- WOOD SHED FOUNDATION:**
2X6 PRESSURE TREATED TRACKS
2X6 PRESSURE TREATED JOISTS @ 24" OC.
- 3/4" APA RATED TONGUE AND GROOVE FLOOR.
24" MAX PANEL SPAN. NO BLOCKING REQUIRED.
ALL EDGES SHALL LIE ON FLOOR JOISTS.
STAGGER PANEL LAYOUT PER APA CONDITION 1.
NAIL PLYWOOD TO JOISTS AND TRACKS:
BORDER: 8d COMMON SPACED @ 6" OC.
EDGE: 8d COMMON SPACED @ 6" OC.
FIELD: 8d COMMON SPACED @ 12" OC.
- FASTEN SOLE PLATE THROUGH FLOOR-PLY INTO FLOOR JOISTS AND TRACKS WITH 10d GALVANIZED SPACED @ 12" OC.
- ALLOWABLE FLOOR LIVE LOAD: 40 PSF
- USE OPTIONAL CONCRETE BLOCKS AS REQUIRED TO LEVEL BUILDING: SUGGESTED SIZES: 1-1/4" X 8" X 16", 4" X 8" X 16", OR 8" X 8" X 16". BLOCKS ALONG JOISTS SPACED @ 8'-0" OC MAXIMUM. BLOCKS ALONG TRACK SPACED @ 4'-0" OC MAXIMUM.

4 SHED BASE DETAIL
SCALE: N.T.S.



Order # _____
Customer: _____
Site Address: _____
Building Size: WIDTH - LENGTH - HEIGHT - SQ. FT. AREA _____

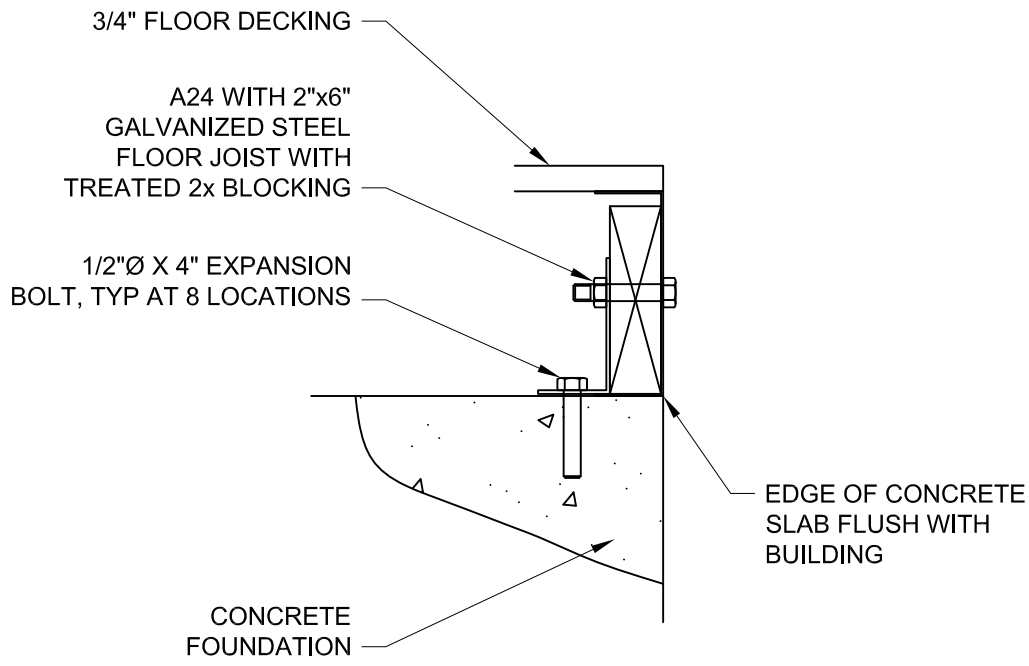
P.O. # _____
Drawn By: PK
Date: 6/23/19
Checked By: _____
Date: _____
Scale: N.T.S.

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY TUFF SHED INC & THE ENGINEER OF RECORD.

DRAWINGS BY:
TUFF SHED, INC.
IN HOUSE DRAFTING DEPARTMENT
1777 S. HARRISON STREET
DENVER, COLORADO 80210
(303) 753-TUFF
TUFF SHED INC. ASSUMES ALL RESPONSIBILITY FOR THE CONTENT OF THESE DRAWINGS AND THE CONSTRUCTION OF THE BUILDINGS SHOWN HEREIN.

TITLE
BUILDING SECTIONS
SHED BASE DETAILS
HEADER FRAMING DETAILS
NOTES - 2015 IBC & IRC-110C

DRAWING NO.
GR-01
REV. LEVEL 01
SHEET **1**
PAGE 1 OF 1



A24 INSTALLATION

NOT TO SCALE

Scale: NTS

CUSTOMERS NAME:

Tuff Shed P.O.#:



TUFF SHED
Storage Buildings & Garages

Title: **INSTALLATION DETAIL**
SIMSON A24
FRAMING ANCHOR

Drawn By: PK
Date Drawn: 10/7/11
Checked By:
Date Revised:

Sales Order

Location: KOHLER | #420 | 920-451-0624
Factory Location: FRANKLIN PARK | #420 | 847-768-1505

Scheduled Date: Pending
Created Date: 10/14/2024

Factory Address: 11039 GAGE AVE.
FRANKLIN PARK, IL 60131
Prepared by: Tuff Shed | | salesforce@tuffshed.com

Customer: Josh Wall
p. (920) 517-0904 | c.
josh@archelec.com

Special Instructions:

SF SO: 01212947
HD Store #: 4924
Customer PO:
JDE SO: 2124215

Serial Number:

Ship to Address: 1237 Pilgrim Rd
Plymouth, WI, 53073, US

Line Item Description	Quantity
KR-600 8 x 8	1.00
Shed Anchor into Dirt - Auger or MR88	4.00
Full Service Paint Application	1.00
Permit Processing Fees	64.00
Engineering Fees	64.00
Shelving - 12" deep	8.00
16"x8" Wall Vent - White	1.00

Customer Signature _____

Date _____

Initials _____



☒ = 8x8 proposed shed



Scale 1" = 40'

Application for permit

No. _____

City of Plymouth 128 Smith Street, P.O. Box 107, Plymouth, WI 53073
920-893-1271 Ext. 320, Fax 920-893-0183

TO THE BUILDING INSPECTOR: DATE: November 20th, 2024
The undersigned hereby applies for a permit to construct, remodel, repair, or install according to the following statement:

- Project Address 3240 County Road PP
- Owner Weber Family Station, LLC Phone # 920-377-1651 Address 3240 County Road PP
- Contractor/Builder Northeast Asphalt Address W6380 Design Drive, Greenville, WI 54942
Telephone Phone 920-342-4160 Certification # _____ Exp. _____
- Plumber N/A Address _____
Telephone Phone _____ Certification # _____ Exp. _____
- Electrician N/A Address _____
Telephone Phone _____ Certification # _____ Exp. _____
- HVAC N/A Address _____
Telephone Phone _____ Certification # _____ Exp. _____

DESCRIPTION OF WORK Resurfacing of existing asphalt lot area along with necessary maintenance on the existing stormwater pond

Proposed Setbacks: Road 50' Rear 40' Side 20'
Accessory Building Size: N/A X N/A Height N/A
Scheduled Start Date: 11/25/2024
Estimated Cost: \$100k Permit Fee: _____ Credit _____ Cash _____ Check# _____

Remarks _____

Approval: Business Inspector _____ Date: _____

The undersigned hereby applies for a permit to do the work above described, and hereby agrees that such work will be done in accordance with the descriptions herein set forth in this statement; and is further agreed to construct, alter, repair, and install in strict compliance with the building ordinance and other ordinances of the City of PLYMOUTH, and the State Building Code of Wisconsin and to obey any and all lawful orders of the Inspector of Buildings of the City of PLYMOUTH. The privilege as granted above is granted only on the condition that by the acceptance of the privilege, the said undersigned, shall become primarily responsible and liable for all and any damage to persons or property caused by and arising from the grant and exercise of such privilege.

NOTE: APPLICANT MUST CALL FOR REQUIRED INSPECTIONS.

Signature EJL Digitally signed by EJL
Date: 2024.11.22 07:14:57 -06'00' Name (PRINT) Eric Letter
Address W6380 Design Drive, Greenville, WI

SIGN CAUTIONARY STATEMENT ON THE BACK

FEE: \$ _____ PAID: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

CITY OF PLYMOUTH
PLAN COMMISSION SUBMITTAL APPLICATION
Revised June 2019

Completed application must be filed with the Zoning Administrator's Office, Plymouth City Hall, 107 Smith Street, RM 205, Plymouth, WI 53073. Alternatively, the application may be filed with the City Clerk's Office at City Hall. To be placed on the agenda of the Planning Commission, application materials must be filed approximately 4 weeks prior to the date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Northeast Asphalt

ADDRESS: W6380 Design Drive, Greenville, WI 54942

E-MAIL ADDRESS: eletter@walbecgroup.com

PHONE: (920) 342-4160 FAX NO.: ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

(use of attachments is acceptable)

NAME OF PROPOSED/EXISTING BUSINESS: Weber Oil

ADDRESS OF SITE AFFECTED: 3240 County Road PP

NEW BUILDING: _____ ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: _____

Resurfacing and expansion of existing asphalt lot area, along with necessary

maintenance on existing stormwater pond.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____

Existing lot has a combination of asphalt and concrete surface areas.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS:

The asphalt lot areas will be removed and replaced, and the concrete areas will remain as they are in the current state.

3. NAMES AND ADDRESSES

OWNER OF SITE: Weber Family Station, LLC

ADDRESS: 3240 County Road PP

PHONE: (920) 377-1651 **FAX NO.:** ()

ARCHITECT: Payne + Dolan, Inc.

ADDRESS: W6380 Design Drive, Greenville, WI 54942

E-MAIL ADDRESS: gevans@walbecgroup.com

PHONE: (920) 588-7884 **FAX NO.:** ()

CONTRACTOR: Northeast Asphalt

ADDRESS: W6380 Design Drive, Greenville, WI 54942

PHONE: (920) 342-4160 **FAX NO.:** ()

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design, colors and appearance of the proposed building or structure. N/A
- B. Provide fourteen 11 X 17 colored renderings of the proposed building elevations and list materials utilized for exterior finish. N/A
- C. A scale drawing of the site plan showing the relationship of the building to the site boundaries and adjacent properties.

D. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Eric Letter
APPLICANT'S SIGNATURE

11/22/2024
DATE

Eric Letter
PRINT ABOVE NAME

OFFICE USE ONLY

ACTION BY CITY OF PLYMOUTH PLAN COMMISSION

DATE OF MEETING: _____

APPROVED: _____ CONDITIONALLY APPROVED: _____

DENIED: _____

CONDITIONS

SIGNATURE: _____
Zoning Administrator

DATE: _____

PLAN OF PROPOSED IMPROVEMENT FOR WEBER OIL WEBER OIL TRUCK LOT CITY OF PLYMOUTH, WISCONSIN SHEBOYGAN COUNTY

SHEET NO.	DESCRIPTION
C0	TITLE SHEET
C1	SITE PLAN
C2	GRADING, DRAINAGE AND EROSION CONTROL PLAN
C3	CONSTRUCTION DETAILS

PLAN PREPARER:
PAYNE + DOLAN, INC
W6380 DESIGN DRIVE
GREENVILLE, WI 54942

GEHRET EVANS, PE
(920)588-7884

LOCATION MAP
NOT TO SCALE



PROJECT LOCATION

LEGAL DESCRIPTION:

LOT 1 CSM V22 P 138-140 #1800214 - PRT SW SW, SEC 25

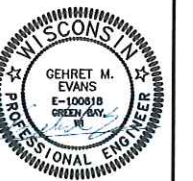
PROPERTY ADDRESS: 3240 COUNTY ROAD PP, PLYMOUTH, WI 53042
TAX KEY NUMBER: 59271820927

REFERENCE BENCHMARK:

NAIL/MAG - N: 172768.701	NAIL/MAG - N: 170124.869	NAIL/MAG - N: 170148.367
E: 158578.355	E: 158578.839	E: 161216.519
ELEV: 795.68	ELEV: 825.44	ELEV: 805.85

DATUM INFORMATION

HORIZONTAL DATUM: SHEBOYGAN COUNTY COORDINATE SYSTEM - NSRS(2011)
VERTICAL DATUM: NAVD '88



PROJECT
WEBER OIL TRUCK LOT
3240 COUNTY ROAD PP
PLYMOUTH, WI 53073

WEBER OIL
3240 COUNTY ROAD PP
PLYMOUTH, WI 53073

SHEET TITLE
TITLE SHEET

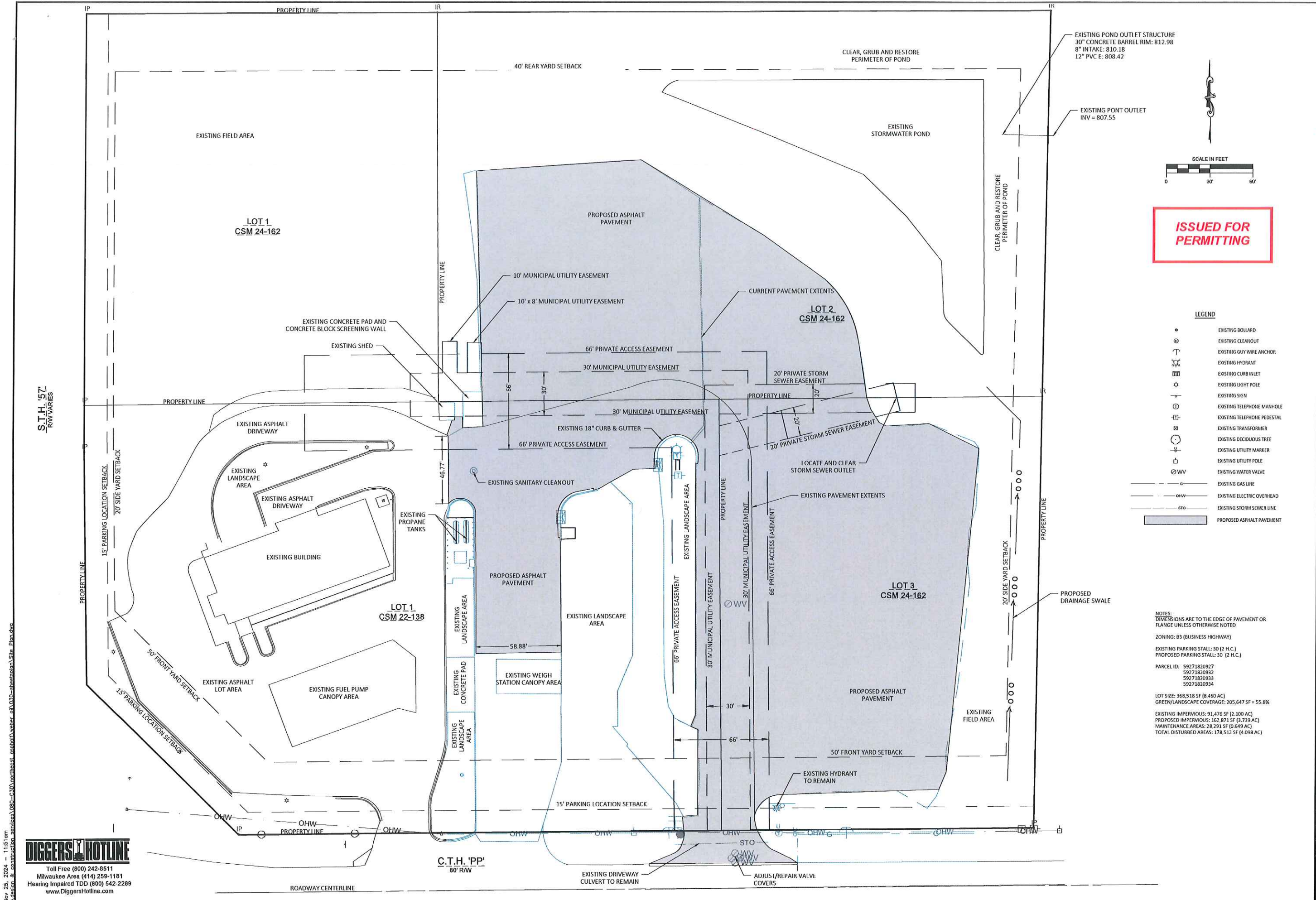
COPYRIGHT NOTICE
THESE DRAWINGS AS INSTRUMENTS OF SERVICE REMAIN THE PROPERTY OF PAYNE & DOLAN, INC. ANY CHANGES, PUBLICATION, OR UNAUTHORIZED USE IS PROHIBITED UNLESS EXPRESSLY AUTHORIZED BY PAYNE & DOLAN, INC.

Drawing Scale:	
Drawn:	GME 11/22/2024
Checked:	HAM 11/22/2024
P&D Project No:	#490976

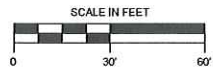
ISSUED FOR PERMITTING

NO	REVISION DESCRIPTION	DATE

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LEGEND

•	EXISTING BOLLARD
⊙	EXISTING CLEANOUT
⊕	EXISTING GUY WIRE ANCHOR
⊗	EXISTING HYDRANT
⊘	EXISTING CURB WILET
⊙	EXISTING LIGHT POLE
⊕	EXISTING SIGN
⊙	EXISTING TELEPHONE MANHOLE
⊙	EXISTING TELEPHONE PEDESTAL
⊙	EXISTING TRANSFORMER
⊙	EXISTING DECIDUOUS TREE
⊙	EXISTING UTILITY MARKER
⊙	EXISTING UTILITY POLE
⊙	EXISTING WATER VALVE
⊙	EXISTING GAS LINE
—	EXISTING ELECTRIC OVERHEAD
—	EXISTING STORM SEWER LINE
—	PROPOSED ASPHALT PAVEMENT

NOTES:
 DIMENSIONS ARE TO THE EDGE OF PAVEMENT OR FLANGE UNLESS OTHERWISE NOTED.
 ZONING: B3 (BUSINESS HIGHWAY)
 EXISTING PARKING STALL: 30 (2 H.C.)
 PROPOSED PARKING STALL: 30 (2 H.C.)
 PARCEL ID: 59271820927
 59271820932
 59271820933
 59271820934
 LOT SIZE: 368,518 SF (8.460 AC)
 GREEN/LANDSCAPE COVERAGE: 205,647 SF = 55.8%
 EXISTING IMPERVIOUS: 91,476 SF (2.100 AC)
 PROPOSED IMPERVIOUS: 162,871 SF (3.739 AC)
 MAINTENANCE AREAS: 28,291 SF (0.649 AC)
 TOTAL DISTURBED AREAS: 178,512 SF (4.098 AC)



PROJECT:
 WEBER OIL TRUCK LOT
 3240 COUNTY ROAD PP
 PLYMOUTH, WI 53073

WEBER OIL
 3240 COUNTY ROAD PP
 PLYMOUTH, WI 53073

DIMENSIONED SITE AND PAVING PLAN

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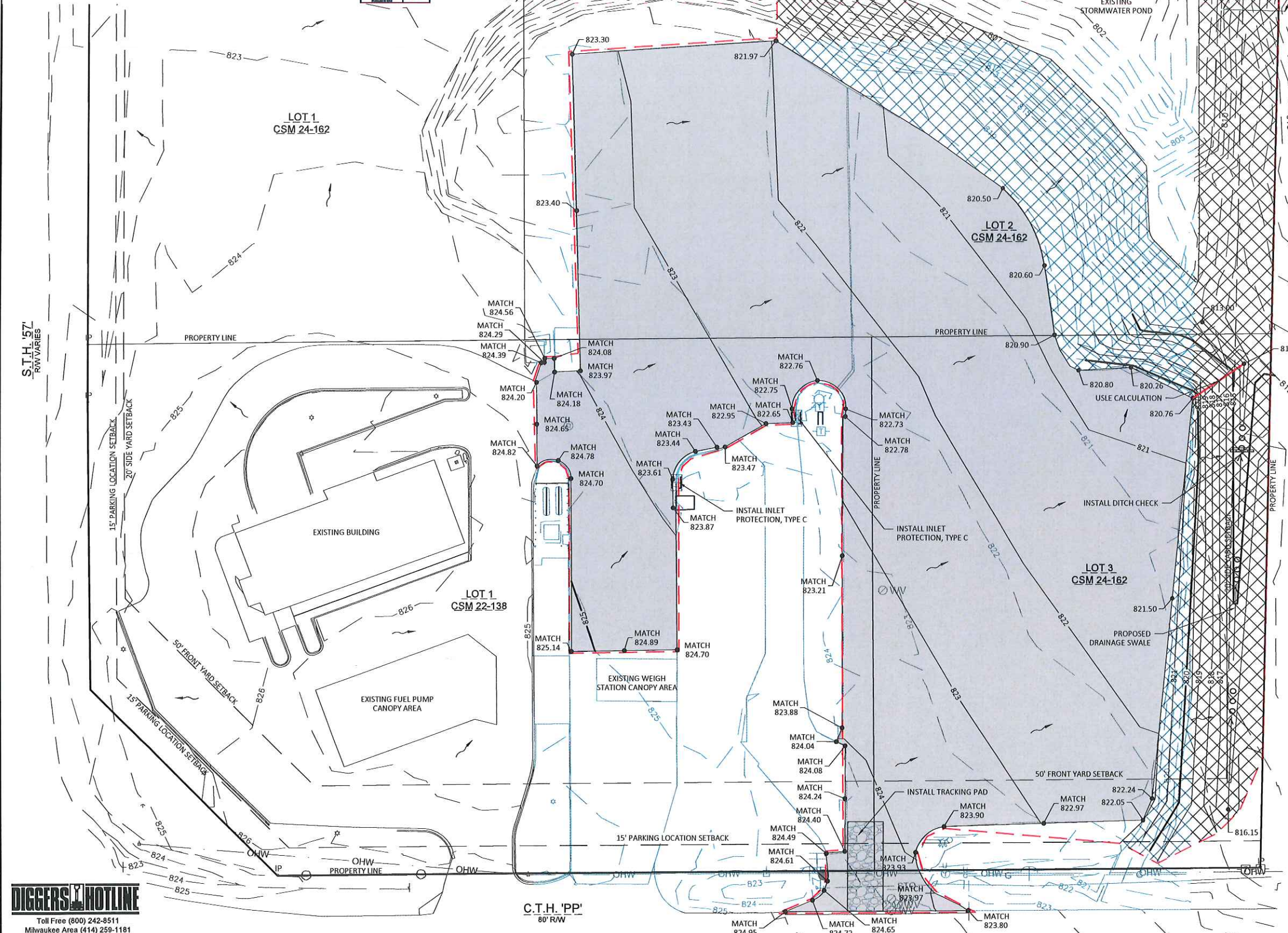
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 Drawn: GME
 11/22/2024
 Checked: HAM
 11/22/2024
 P&D Project No: #490976

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Activity (A)	Begin Date (B)	End Date (C)	Percent (D)	Actual (E)	Sub Soil Feature (F)	Soil Erodibility Factor (G)	Slope Length (H)	Slope (I)	LS Factor (J)	Land Cover C Factor (K)	Soil Area A (milsicr) (L)	SDF (M)	Settlement Control Practice (N)	Settlement Discharge (m) (O)
Disturbance	11/20/24	12/27/24	0.7%	100	SR Loam	0.43	20.0'	3%	3.68	1.00	0.2	0.652	Settlement Mat	8.0
Gravel with Mulch m.D.	11/27/24	06/01/25	33.6%	100	SR Loam	0.43	20.0'	3%	3.68	0.10	1.7	0.652	Settlement Mat	8.2
Grass	06/01/25											0.600	Settlement Mat	8.0
												0.600		8.0
												0.600		8.0
												0.600		8.0
												0.600		8.0
TOTAL													1.8	8.2
TOTAL % Disturbance Reduced													99%	99%



EXISTING POND OUTLET STRUCTURE
30" CONCRETE BARREL RIM- 812.98
8" INTAKE: 810.18
12" PVC E: 808.42

EXISTING POND OUTLET
INV = 807.55

ISSUED FOR PERMITTING

SCALE IN FEET
0 30 60

- LEGEND**
- EXISTING BOLLARD
 - EXISTING CLEANOUT
 - EXISTING GUY WIRE ANCHOR
 - EXISTING HYDRANT
 - EXISTING CURB INLET
 - EXISTING LIGHT POLE
 - EXISTING SIGN
 - EXISTING TELEPHONE MANHOLE
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING TRANSFORMER
 - EXISTING DECIDUOUS TREE
 - EXISTING UTILITY MARKER
 - EXISTING UTILITY POLE
 - EXISTING WATER VALVE
 - EXISTING GAS LINE
 - EXISTING ELECTRIC OVERHEAD
 - EXISTING STORM SEWER LINE
 - EXISTING CONTOUR LINE
 - PROPOSED ASPHALT PAVEMENT
 - RESTORATION AREA/EROSION MATTING CLASS 3, TYPE 1
- PROPOSED LEGEND**
- DRAINAGE ARROW
 - INLET PROTECTION, TYPE C
 - DITCH CHECK OR EROSION BALES
 - 700.00 TOP OF PAVEMENT OR FINISHED GROUND ELEVATION
 - PROPOSED CONTOUR
 - GRADING LIMITS

- CONSTRUCTION ACTIVITY AND SEQUENCE**
- ANTICIPATED DISTURBANCE: 4.098 AC
SITE CONSTRUCTION: NOVEMBER 2024 TO DECEMBER 2024, DURATION: 2 WEEKS
- BEGIN CONSTRUCTION AFTER RECEIPT OF ALL CITY, COUNTY AND WDNR PERMITS
 - GRADE DRAINAGE SWALES AND INSTALL EROSION CONTROL MEASURES. CLEAR AND GRUB PERIMETER OF EXISTING POND.
 - REMOVE EXISTING PAVEMENT IN RESTORATION AREAS.
 - FINE GRADE EXISTING GRAVEL AND BASE.
 - COMPLETE PERMANENT RESTORATION OF ALL REMAINING DISTURBED AREAS BY 12/15/2024
 - ESTABLISHMENT PERIOD THRU 05/2025

- MAINTENANCE PLAN**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSPECTED FOR FUNCTIONAL EFFECTIVENESS FOLLOWING EVERY 1/2-INCH RAIN EVENT AND IN NO CASE LESS THAN ONCE PER WEEK. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY TO ENSURE THE DEVICE FUNCTIONS AS DESIGNED.
 - ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, MULCHED AND RE-SEEDING AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
 - ANY SEDIMENT REACHING A PUBLIC OR PRIVATE STREET SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY OR AS NECESSARY TO PREVENT DEBRIS FROM ENTERING A STORM SEWER, DITCH OR WATERWAY.
 - IN THE EVENT OF CONSTRUCTION ACTIVITIES RESULT IN SEVERE DUST CONDITIONS, SEE WDNR TECHNICAL STANDARD 106R.
 - IN THE EVENT OF DEWATERING ACTIVITIES, FOLLOW WDNR TECHNICAL STANDARD 106I. ALL WATER DISCHARGED FROM THE DEWATERING EQUIPMENT MUST BE FILTERED BY A TYPE II GEOTEXTILE BAG SIZED FOR THE PUMP DISCHARGE FLOW RATE.
 - DITCH CHECKS TO BE PLACED AT EVERY 2' OF VERTICAL DROP IN ELEVATION OR CLOSER. DITCH CHECK AND EMAT INSTALLATION SHOULD BE PER WDNR TECHNICAL STANDARD 106E.
 - DRAINAGE WAYS ARE TO BE SEEDED AND MULCHED OR SODDED AS SOON AS POSSIBLE. SIDE SLOPES OF DRAINAGE WAYS THAT ARE SLOPED 4:1 OR GREATER AND FLOW LINES OF THE DRAINAGE WAYS SHALL HAVE EROSION FABRIC OR MATTING INSTALLED TO PROTECT FROM EROSION. LIGHT DUTY WISDOT CLASS II URBAN TYPE A MAT IS RECOMMENDED FOR THE SLOPED AREAS AND TYPE B CLASS II FOR THE FLOW LINE OF THE SWALES.
 - ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS MUST BE IMMEDIATELY STABILIZED OR PERMANENTLY RESEED IN ACCORDANCE WITH THE WDNR BMP'S.
 - TEMPORARY STABILIZATION MATERIALS SHALL BE MULCHED AND SHALL BE APPLIED AND ANCHORED AS SPECIFIED IN WDNR TECHNICAL STANDARD 105B. FOR AREAS NOT STABILIZED BY OCT. 15, APPLY TEMPORARY SEEDING WITH ANIONIC POLYACRYLAMIDE AS SPECIFIED IN WDNR TECHNICAL STANDARD 105D & 105F.
 - ALL SIGNIFICANT CHANGES TO THIS SCHEDULE SHALL BE PROVIDED TO THE WDNR AND LOCAL MUNICIPALITY PRIOR TO DEVIATION.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN POSITIVE DRAINAGE TO THE SEDIMENT CONTROL DEVICES AT ALL TIMES DURING CONSTRUCTION.
 - ALL EROSION CONTROL BMP DEVICES CAN BE REMOVED ONCE 100% OF THE SITE HAS BEEN VEGETATED TO 70% COVERAGE PER WDNR TECHNICAL STANDARDS.

Paynet+Dolan
A VALUE-C COMPANY
www.paynetgroup.com
(920) 757-7559

CEHRET M. EVANS
E-100818
PROFESSIONAL ENGINEER

WEBER OIL TRUCK LOT
3240 COUNTY ROAD PP
PLYMOUTH, WI 53073

WEBER OIL
3240 COUNTY ROAD PP
PLYMOUTH, WI 53073

GRADING, DRAINAGE AND EROSION CONTROL PLAN

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Drawing Scale: **1" = 60'**

Drawn: **GME**
11/27/2024

Checked: **HAM**
11/27/2024

P&O Project No: **#490976**

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Nov 25, 2024 - 11:51am
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PROJECT: WEBER OIL TRUCK LOT
3240 COUNTY ROAD PP
PLYMOUTH, WI 53073

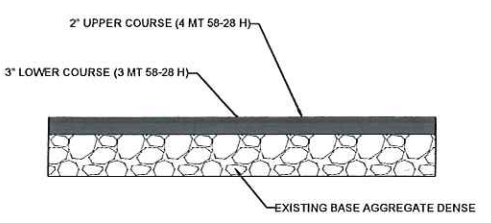
WEBER OIL
3240 COUNTY ROAD PP
PLYMOUTH, WI 53073

CONSTRUCTION DETAILS

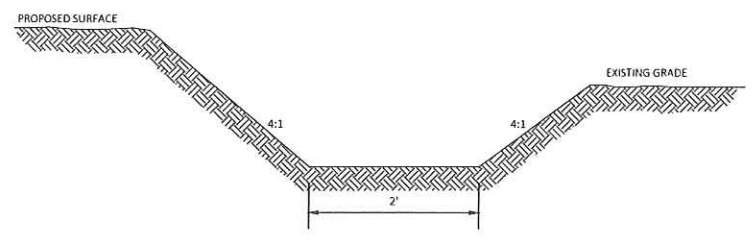
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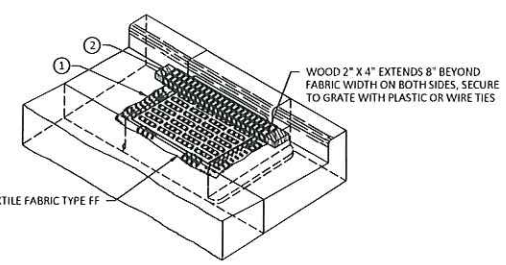


ASPHALT PAVEMENT SECTION
N.T.S.

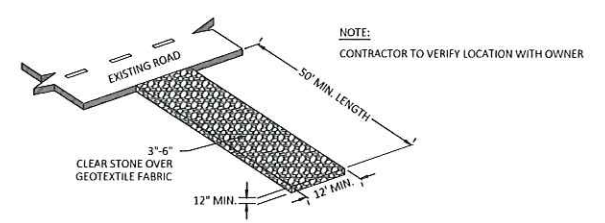


TYPICAL DITCH SECTION
N.T.S.

- NOTES:**
- FABRIC SHALL BE REPLACED AT THE ENGINEER'S DISCRETION.
 - MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED FOR THE INLET PROTECTION TYPE SPECIFIED.
 - WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- ① EXTEND FABRIC A MINIMUM OF 6" AROUND GRATE PERIMETER FOR MAINTENANCE OR REMOVAL IS REQUIRED.
- ② FOR INLET PROTECTION, TYPE C, WITH A CURB BOX, AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



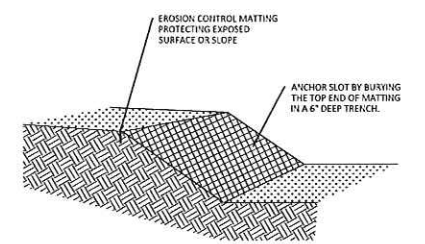
INLET PROTECTION, TYPE C (WITH CURB BOX)
N.T.S.



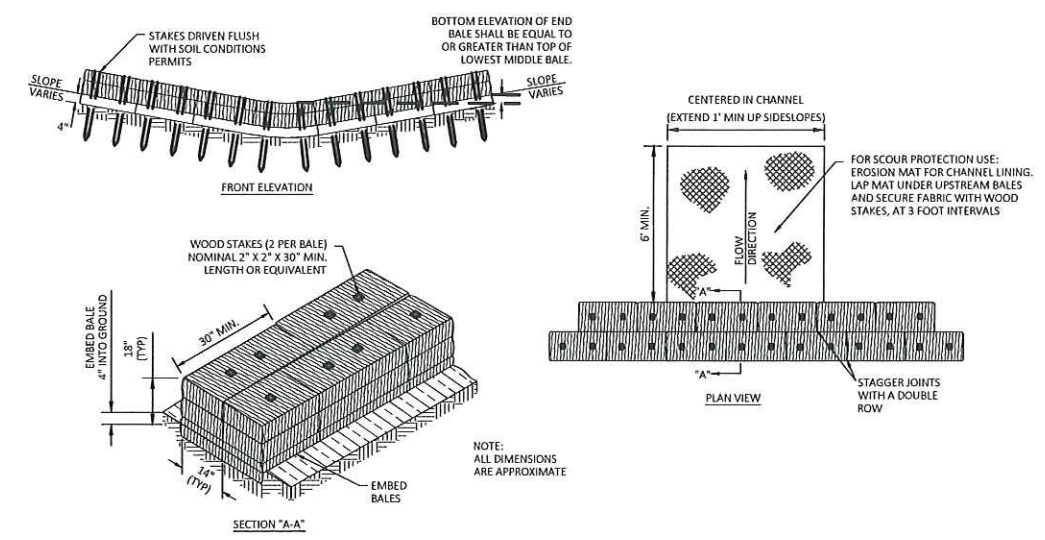
CONSTRUCTION ENTRANCE
N.T.S.

- GENERAL NOTES:**
- TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
 - THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6-INCH CLEAR OR WASHED STONE. ALL MATERIAL TO BE RETAINED ON A 3-INCH SIEVE.
 - THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12-INCHES THICK. ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD, THE PAD SHALL BE UNDERLAIN WITH WIGDOT TYPE "T" GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE STONE LAYER.
 - THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM 50-FOOT LONG.
 - ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY.
 - TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24-HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 - THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

- NOTES:**
- PRIOR TO THE INSTALLATION OF ANY EROSION CONTROL MATTING, ALL ROCKS, DIRT CLODS, STUMPS, ROOTS, TRASH AND ANY OTHER OBSTRUCTIONS WHICH WOULD PREVENT THE MAT FROM LAYING IN DIRECT CONTACT WITH THE SOIL SHALL BE REMOVED.
 - THE MATTING SHALL BE ANCHORED ALONG ITS ENTIRE PERIMETER WITH A 6"x6" ANCHOR TRENCH. AFTER MATTING IS LAID IN TRENCH, BACKFILL, AND COMPACT WITH SOIL OR GRAVEL.
 - THE MATTING SHALL BE ANCHORED TO THE GROUND USING 10 GAUGE WIRE STAPLES, 6" IN LENGTH BY 1" WIDE WITH A COVERAGE NOT LESS THAN 1 STAPLE PER EVERY 4 SQUARE FEET OF MATTING.
 - INSTALLATIONS SHALL ALSO BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED GUIDELINES.
 - EROSION CONTROL MATTING SHALL BE ONE OF THE FOLLOWING:
 - JUTE MAT COMPOSED OF A JUTE YARN WEAVED IN A BASIC MANNER AND FREE OF ANY DYE AND HAVING A MINIMUM UNIT WEIGHT OF 2.7 LBS. PER SQ. YARD.
 - WOOD FIBER MAT COMPOSED OF WOOD FIBERS ENCASED IN A NETTING MADE OF NYLON, COTTON OR SIMILAR MATERIAL AND HAVING A MINIMUM UNIT WEIGHT OF 1.0 LBS. PER SQ. YARD.
 - SYNTHETIC WEBBING MAT MADE OF POLYVINYL CHLORIDE POLYPROPYLENE MONOFILMENTS HAVING A MINIMUM UNIT WEIGHT OF 11 OUNCES PER SQ. YARD AND A MINIMUM TENSILE STRENGTH OF 25 LBS. IN ALL DIRECTIONS. (ASTM D-1682.64)
 - MATTED AREAS MUST BE INSPECTED ON A WEEKLY BASIS, AND AFTER EACH SIGNIFICANT RAINFALL. BARE SPOTS, MISSING OR LOOSENED MATTING MUST BE IMMEDIATELY REPLACED AND/OR RE-ANCHORED.
 - STAPLES SHALL BE REMOVED FROM THE GROUND ONCE THE THREAT OF EROSION HAS PASSED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.



EROSION MAT
N.T.S.



- GENERAL NOTES:**
- INSTALLED, THE MINIMUM HEIGHT OF DITCH CHECKS SHALL BE 10-INCHES AND SHALL NOT EXCEED A MAXIMUM HEIGHT OF 16-INCHES FOR MANUFACTURED OR BIODEGRADABLE MATERIALS.
 - DITCH CHECKS MUST BE INSTALLED WITH THE CENTER LOWER THAN THE SIDES FORMING A WEIR.
 - AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY TWO-FOOT OF DROP IN THE CHANNEL.
 - DITCH CHECK SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24- HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 - SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH HALF OF THE HEIGHT OF THE LOWEST BALE.
 - DITCH CHECKS SHALL BE UTILIZED DURING ROUGH GRADING AND SHALL BE REMOVED ONCE FINAL GRADING AND CHANNEL STABILIZATION IS APPLIED.
 - DITCH CHECK CONSTRUCTION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD [1062]. EROSION MATTING SCOUR PROTECTION SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD [1053].

TEMPORARY DITCH CHECK (STRAW BALES OR WADDLES)
N.T.S.

Nov 25, 2024 - 11:52am
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FEE: \$ _____ PAID: _____
MAP NO.: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

CITY OF PLYMOUTH
PLAN COMMISSION SUBMITTAL APPLICATION
Revised September 2013

Completed application must be filed with the Zoning Administrator's Office, 107 Smith Street, RM 206. To be placed on the agenda of the Planning Commission, Application must be filed _____ days prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Masters Gallery Foods Inc.
ADDRESS: PO Box 170. Plymouth WI

E-MAIL ADDRESS: tyaeger@mastersgalleryfoods.com
PHONE: (920) 893-9192

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT
(use of attachments is acceptable)

NAME OF PROPOSED/EXISTING BUSINESS: Masters Gallery Foods INC

ADDRESS OF SITE AFFECTED: 411 County HWY PP

NEW BUILDING: _____ ADDITION: X REMODELING: _____
DESCRIPTION OF PROPOSED PROJECT: Due to the volume of product required

to be opened in the plant it is not longer viable to use the limited human resources to keep or operation efficient with out adding a robotic system to remove boxes from the product. In order to do this we would need to expand the facility to the west on the south side of the current building.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____

Tilt up insulated wall panels. Poured Concrete Painted to match.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS:
Block wall painted to match existing colors

3. NAMES AND ADDRESSES

OWNER OF SITE: Jeff Gentine
ADDRESS: 328 County HWY PP
PHONE: (920) 893 8431 **FAX NO**

ARCHITECT: McMahon and Associates
ADDRESS: 1445 McMahon Drive. Neenah WI 54956

E-MAIL ADDRESS: Dgruber@mcmgrp.com
PHONE: (920 751 4200) **FAX NO**


CONTRACTOR: Joe Schmitt & Sons
ADDRESS: 2104 Union Avenue, Sheboygan
PHONE: (920) 457 4426 **FAX NO.:**

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design, colors and appearance of the proposed building or structure.
- B. Provide 14 copies of 11 X 17 colored renderings of the proposed building elevations and list materials utilized for exterior finish.**
- C. A scale drawing of the site plan showing the relationship of the building to the site boundaries and adjacent properties.
- D. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE
Timothy YAEGER

PRINT ABOVE NAME

12/10/24

DATE

OFFICE USE ONLY

ACTION BY CITY OF PLYMOUTH PLAN COMMISSION

DATE OF MEETING: _____

APPROVED: _____

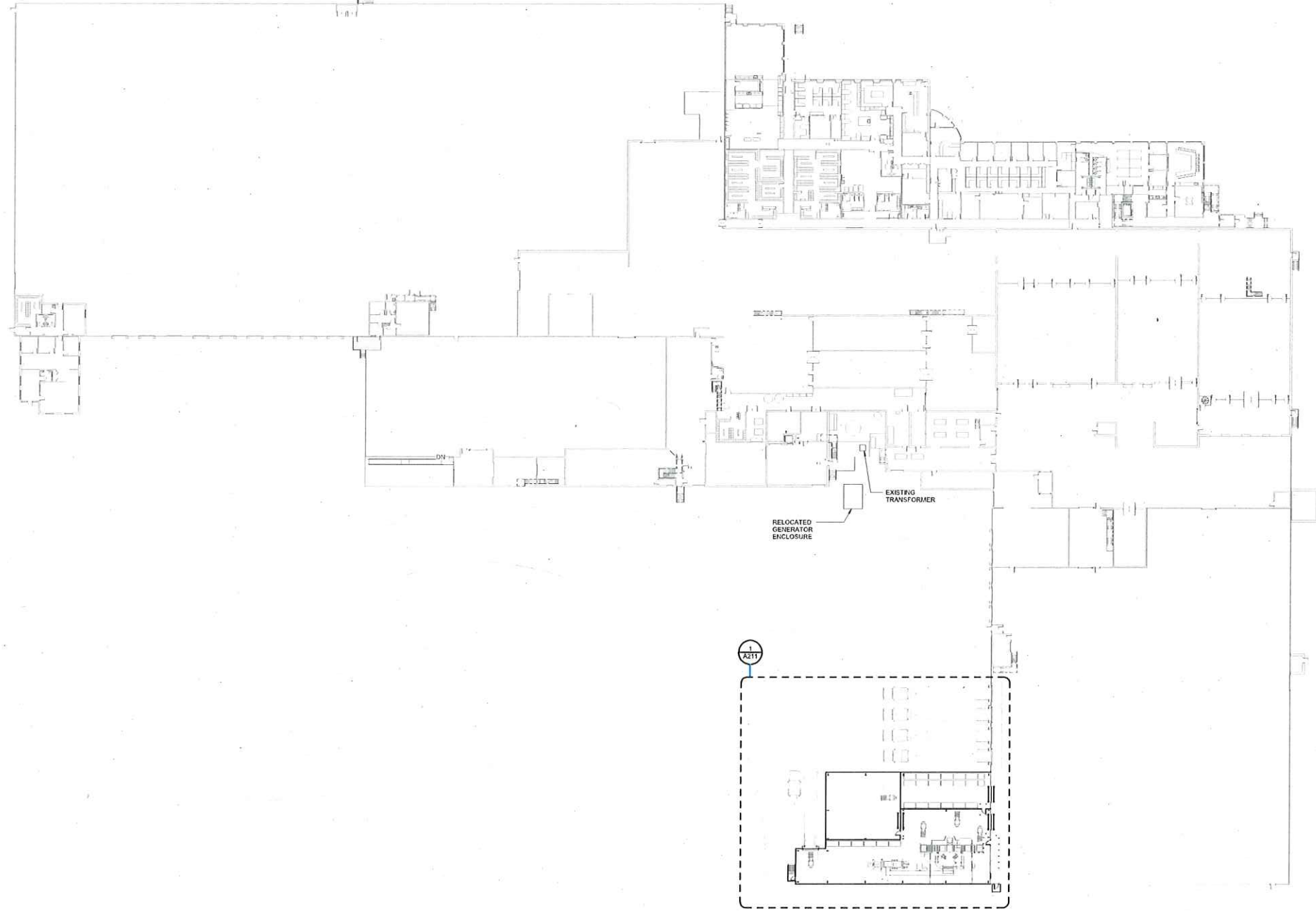
CONDITIONALLY APPROVED: _____

DENIED: _____

CONDITIONS

SIGNATURE: _____
Zoning Administrator; Karsen Gosh

DATE: _____



OVERALL FIRST FLOOR PLAN OPT 1



1/32" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

MASTERS GALLERY FOODS
 DEBOXER ADDITION CONCEPT - OPTION 1
 OVERALL FIRST FLOOR PLAN OPT 1

DESIGNED	DRAWN
PROJECT NO.	CLIENT 000000000
DATE	JANUARY 3, 2022
SHEET NO.	

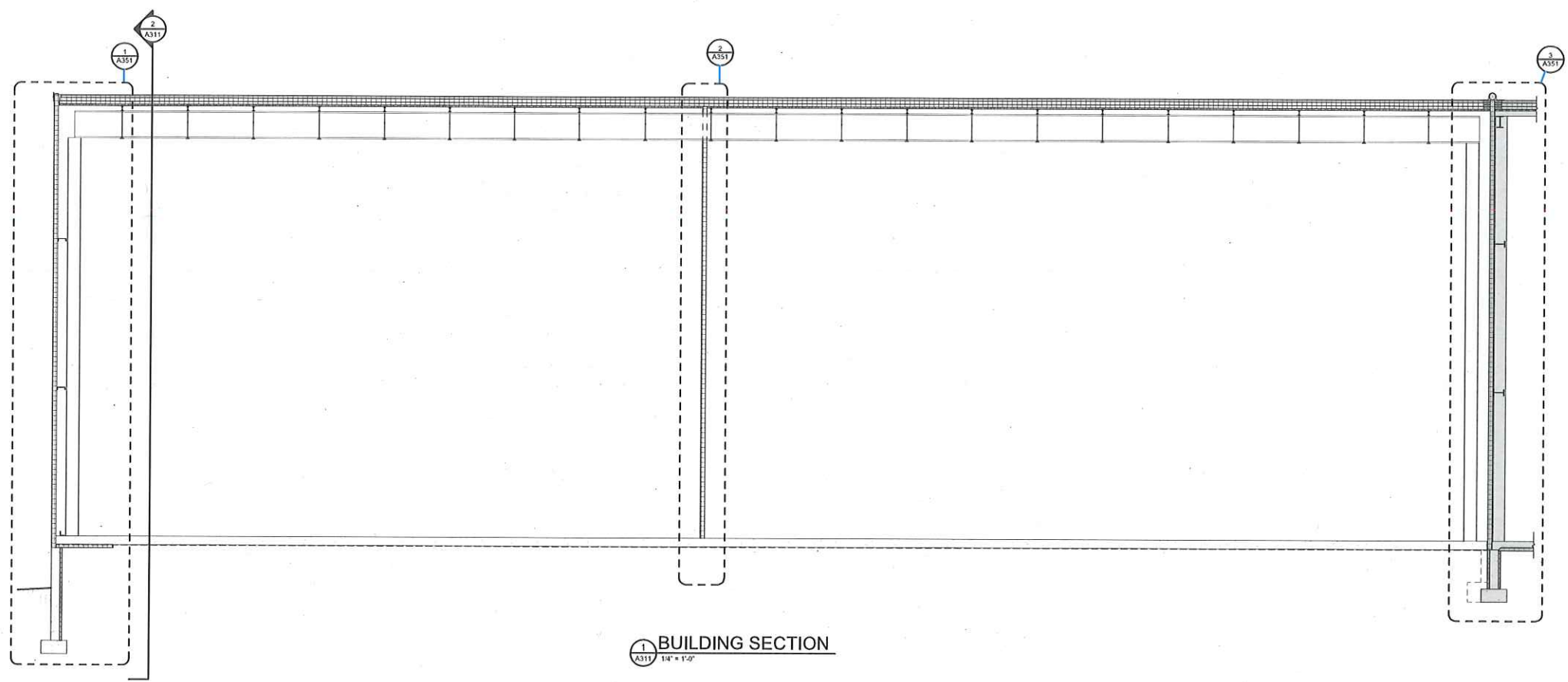
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McMAHON
 ENGINEERS ARCHITECTS
 McMAHON ASSOCIATES, INC.
 1445 P.O. BOX 1025 NEENAH, WI 54956-1025
 Tel: (920) 751-4000 Fax: (920) 751-4284
 www.mcmahon.com

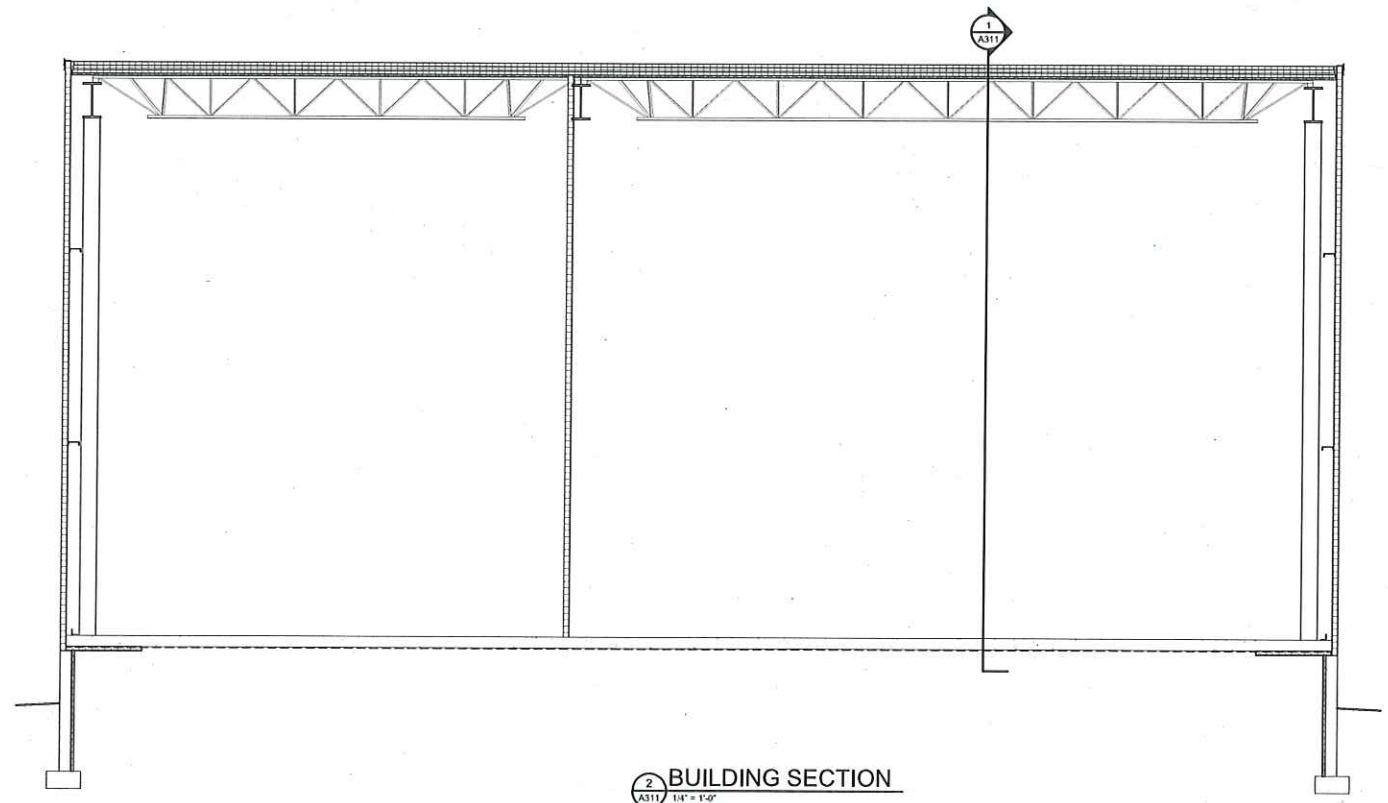
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1/22/2022 2:00:38 PM

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1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

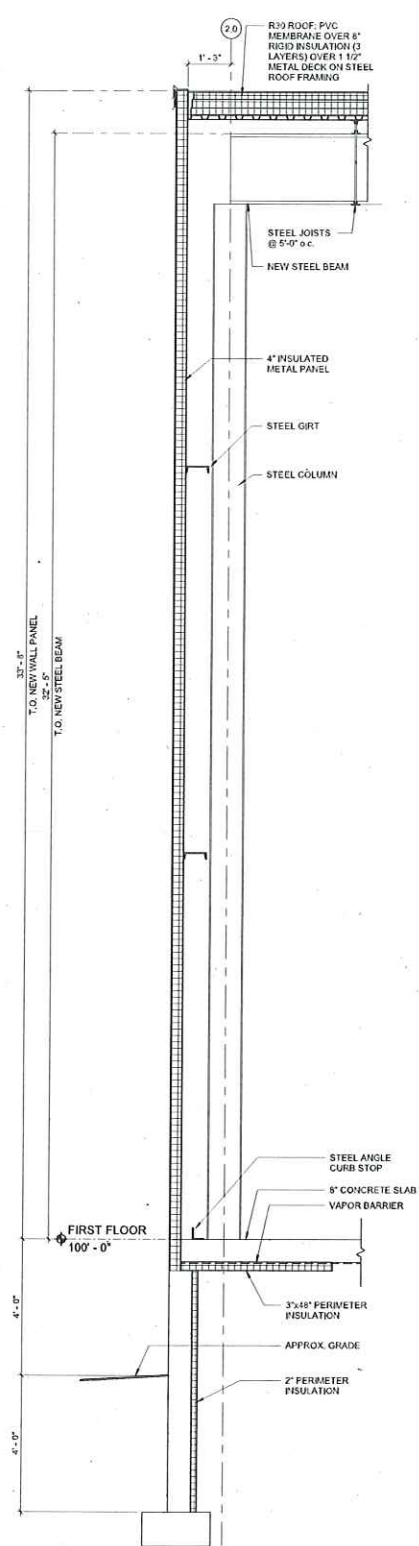
MASTERS GALLERY FOODS
DEBOXER ADDITION CONCEPT - OPTION 1
BUILDING SECTIONS

DESIGNED	DRAWN
PROJECT NO.	CLIENT 000000000
DATE	JANUARY 1, 2022
SHEET NO.	

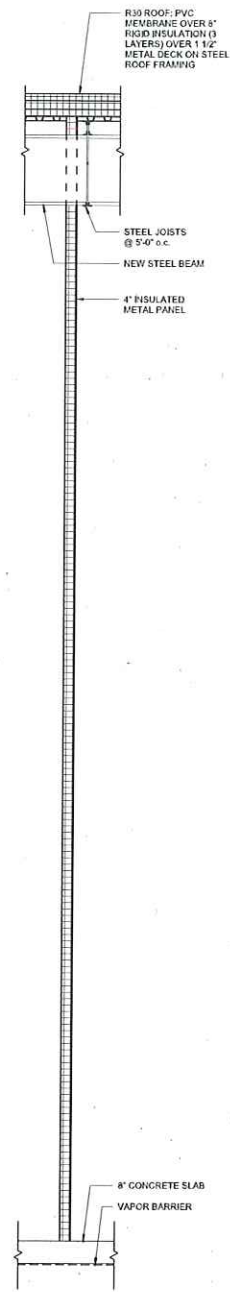
A311

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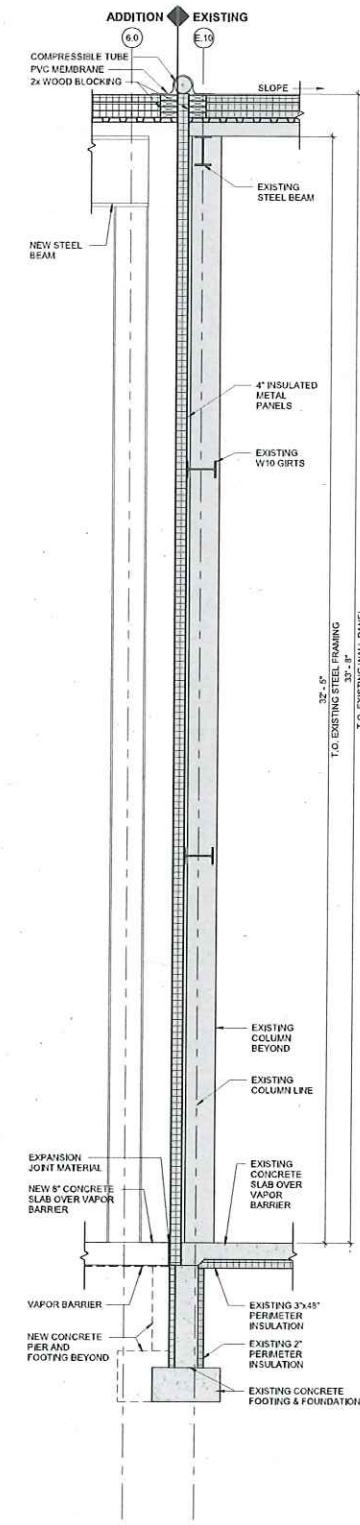
McMahon Associates, Inc. certifies that the information contained herein is true and correct to the best of our knowledge and belief. We warrant that the information is true and correct to the best of our knowledge and belief. We warrant that the information is true and correct to the best of our knowledge and belief. We warrant that the information is true and correct to the best of our knowledge and belief.



1 WALL SECTION
A351 1/2" = 1'-0"



2 WALL SECTION
A351 1/2" = 1'-0"



3 WALL SECTION
A351 1/2" = 1'-0"

SEE TYPICAL SECTION 1/A351 FOR ALL TYPICAL NOTES

PRELIMINARY NOT FOR CONSTRUCTION

MASTERS GALLERY FOODS
DEBOXER ADDITION CONCEPT - OPTION 1
WALL SECTIONS

DESIGNED	DRAWN
PROJECT NO.	CLIENT 00000000
DATE	JANUARY 1, 2022
SHEET NO.	A351

A351

McMAHON
ENGINEERING ARCHITECTURE INTERIORS

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Tel: (920) 731-4200 Fax: (920) 731-4204
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FEE: \$ _____ PAID: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

CITY OF PLYMOUTH
PLAN COMMISSION SUBMITTAL APPLICATION
 Revised June 2019

Completed application must be filed with the Zoning Administrator's Office, Plymouth City Hall, 107 Smith Street, RM 205, Plymouth, WI 53073. Alternatively, the application may be filed with the City Clerk's Office at City Hall. To be placed on the agenda of the Planning Commission, application materials must be filed approximately 4 weeks prior to the date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: LAG Family, LLC

ADDRESS: 1 Persnickety Place, Plymouth, WI 53073

E-MAIL ADDRESS: mootown18@gmail.com

PHONE: (920) 627-0252 FAX NO.: ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

(use of attachments is acceptable)

NAME OF PROPOSED/EXISTING BUSINESS: TBD - H.C. Laack Block & Hotel Laack

ADDRESS OF SITE AFFECTED: 225-227 E. Mill Street & 52 S. Stafford Street

NEW BUILDING: _____ ADDITION: _____ REMODELING: X

DESCRIPTION OF PROPOSED PROJECT: Building rehabilitation into 35-room boutique hotel with bar, restaurant, and banquet facility

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____

Brick and painted brick, infilled window openings, late 1960s era storefronts with brown

brick and mansard roof

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS:

Removal of paint to restore brick, removal of brick to restore windows, and removal of storefronts to restore storefronts based on photographic and physical evidence

3. NAMES AND ADDRESSES

OWNER OF SITE: LAG Family, LLC

ADDRESS: 1 Persnickety Place, Plymouth, WI 53073

PHONE: (920) 627-0252 **FAX NO.:** ()

ARCHITECT: Legacy Architecture, Inc.

ADDRESS: 605 Erie Avenue, Suite 101, Sheboygan, WI 53081

E-MAIL ADDRESS: jlehrke@legacy-architecture.com

PHONE: (920) 783-6303 **FAX NO.:** ()

CONTRACTOR: A. Chappa Construction

ADDRESS: 443 North Main Street, Sheboygan Falls, WI 53085

PHONE: (920) 467-4093 **FAX NO.:** ()

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design, colors and appearance of the proposed building or structure.
- B. Provide fourteen 11 X 17 colored renderings of the proposed building elevations and list materials utilized for exterior finish.
- C. A scale drawing of the site plan showing the relationship of the building to the site boundaries and adjacent properties.

D. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Lee M. Bertine
APPLICANT'S SIGNATURE

12-6-2024
DATE

Lee M. Bertine
PRINT ABOVE NAME

OFFICE USE ONLY

ACTION BY CITY OF PLYMOUTH PLAN COMMISSION

DATE OF MEETING: _____

APPROVED: _____

CONDITIONALLY APPROVED: _____

DENIED: _____

CONDITIONS

SIGNATURE: _____
Zoning Administrator

DATE: _____



DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION



LEGACY
 architecture
 605 Erie Avenue
 Sheboygan, Wisconsin 53081
 (920) 783-6303
 www.legacy-architecture.com

REHABILITATION OF LAACK BLOCK & HOTEL LAACK
LAG FAMILY, LLC
 219-227 E. MILL ST. & 52 S. STAFFORD ST.
 PLYMOUTH, WISCONSIN 53073

PROJECT NUMBER	24.012
DATE	12/11/24
SHEET NUMBER	00

City of Plymouth
128 Smith St. - P.O. Box 107
Plymouth, WI 53073-0107



Telephone: (920) 893-1271
Facsimile: (920) 893-0183
Web Site: plymouthgov.com

DATE: December 30, 2024
TO: Plan Commission
FROM: Tim Blakeslee, City Administrator/Utilities Manager
RE: Discussion and recommendation of modifications amending 13-1-92 regarding parking requirements.

Background: The parking ordinance needs to be updated to include setback distance for driveways and parking spaces in the R-6 district. Staff proposes setting the distance to match the R-4 district.

The proposed change to the code would be to make the following adjustment:

- 13-1-92(e)2 Location:
 - R-4, R-6 and B-1 zones: Five feet or more from property lines.

Recommendation:

Motion to recommend modifications of modifications amending 13-1-92 regarding parking requirements.

City of Plymouth
128 Smith St. - P.O. Box 107
Plymouth, WI 53073-0107



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Web Site: plymouthgov.com

DATE: December 30, 2024
TO: Plan Commission
FROM: Tim Blakeslee, City Administrator/Utilities Manager
RE: Presentation and Discussion Regarding Conditional Use Permit Process.

Background: Staff anticipates a Conditional Use Permit (CUP) submission at an upcoming Plan Commission meeting. Given the infrequency of CUP applications in Plymouth, staff has requested City of Plymouth Attorney Fieber to provide a presentation summarizing the requirements related to conditional use law, which was updated in 2017.

State law imposes the following requirements on the Plan Commission when reviewing conditions under a CUP:

- The requirements and conditions specified in the ordinance or imposed by the Plan Commission must be reasonable, and to the extent practicable, measurable.
- Any condition imposed must relate to the purpose of the ordinance and be based on substantial evidence.
- “Substantial evidence” means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that a reasonable person would accept in support of a conclusion.
- If an applicant meets, or agrees to meet, all of the requirements and conditions specified in the ordinance or imposed by the Plan Commission, the Plan Commission must grant the conditional use permit.
- The applicant must provide substantial evidence that the application and all requirements and conditions are, or will be, satisfied.
- If an applicant does not meet one or more of the requirements (for example the application is incomplete) or conditions specified in the ordinance or imposed by the Plan Commission, the Plan Commission can deny the conditional use permit.
- A Plan Commission’s decision to approve or deny a conditional use permit must be supported by substantial evidence.

Recommendation:

No action - presentation and discussion only.