

# City of Plymouth Plan Commission

**Members: Please notify us if you are unable to attend the meeting.**

Chairman; Mayor Don Pohlman

Members:

Greg Hildebrand (Vice Chairman)

Jane Meyer

Jeremy Schellin

Ron Nicolaus

John Wyatt

Justin Schmitz

The City of Plymouth Plan Commission will have a meeting on **Thursday August 7, 2025 at 6:00 PM in Room 305**, City Hall, and Plymouth, WI.

The agenda will be as follows:

- 1.) Call to Order & Roll Call
- 2.) Approval of Minutes from July 10, 2025
- 3.) **Recommendation of Extraterritorial Certified Survey Map;** Parcel numbers 59016217350 and 59016217360 – located on Sandstone Lane in the Town of Plymouth. Rortvedt Trust (enclosure)
- 4.) **Site Plan Seeking Approval;** 216 Western Ave, William Brin, for the installation of a 77 square foot shed. Brin (enclosure)
- 5.) **Site Plan Seeking Approval;** 615 E. Main St, Jonathon & Samantha Puetz, for the construction of a 432 square foot detached garage. Puetz (enclosure)
- 6.) **Site Plan Seeking Approval;** 716-744 N. Pleasant View Road, Fairview Crossing Apartment Association LP, for the construction of a new clubhouse and parking lot expansion. Cityscape Architecture (enclosure)
- 7.) **Recommendation of City of Plymouth Certified Survey Map;** Parcel number 59271827950 – located on Kiley Way and Walton Drive in the City of Plymouth, to divide the parcel into two parcels of 1.81 acres and 1.4 acres in the B-1 Business Office zoning district. La Macchia Group/Excel (enclosure)
- 8.) **Site Plan Seeking Approval;** Parcel number 59271827950, to construct a new 2,909 square foot financial institution to be occupied by Premier Financial Credit Union. Property to be located on the corner of Kiley Way and Walton Drive. La Macchia Group/Excel (enclosure)

- 9.) Site Plan Seeking Approval;** 4200 CTH PP, SFC-Plymouth, LLC (dba Sartori Cheese) for the construction of a ~68,000 square foot building addition and related site plan improvements. Abacus Architects (enclosure)
- 10.) Communication – Letters, E-mails, or reports Related to the Plan Commission**  
(Chairman, Secretary, Plan Commission Members, City of Plymouth Staff/Alderspersons)
- 11.) Adjournment**

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact City of Plymouth ADA Coordinator Leah Federwisch, located in the Plymouth Utilities office at 900 County Road PP, Plymouth, WI or call 920-893-3853

# City of Plymouth Plan Commission

## UNOFFICIAL MINUTES

Mayor Pohlman called the meeting to order at 6:00 PM on July 10, 2025. The following members were present: Jane Meyer, Ron Nicolaus, John Wyatt, Greg Hildebrand, and Justin Schmitz. Also present: City Administrator/Utilities Manager Tim Blakeslee, Assistant City Administrator/Community Development Director Jack Johnston, Director of Public Works Cathy Austin, Fire Chief Ryan Pafford, Assistant Electric Operations Manager Nick Whipple

**1.) Approval of Minutes from June 5, 2025:** Motion was made by Schmitz/Hildebrand to approve the minutes. Upon the call of the roll, all voted aye. Motion carried.

**2.) Discussion and Possible Recommendation of Extraterritorial Certified Survey Map; Parcel numbers 59016214992 and 59016214991, – located on County Road O in the Town of Plymouth. Wade Kleinhans/Kleinhans Trust (enclosure)**

Wade Kleinhans has submitted an application for approval of a certified survey map in the Town of Plymouth that is located in the City of Plymouth Extraterritorial Review jurisdiction (1.5 miles from City of Plymouth boundaries). The land division has already been approved by the Town of Plymouth and seeks create new parcel boundaries for a future home to be built. The CSM would essentially widen the frontage on CTH O approximately 91 feet and add ~1 acre of land to the property.

Motion was made by Hildebrand/Nicolaus to recommend approve of the extraterritorial certified survey map with parcel numbers 59016214992 and 59016214991 – located on County Road O in the Town of Plymouth. Upon the call of the roll, all voted aye. Motion carried.

**3.) Site Plan Seeking Approval; 15 Plymouth Street, St. John the Baptist Congregation, for the alteration of an existing parking lot. St. John the Baptist Congregation/Excel (enclosure)**

St. John the Baptist Congregation is seeking site plan review and approval for alterations to their existing parking lot location at 15 Plymouth Street in order to meet current ADA requirements as well as improve grading slopes. The project also includes terminating a driveway access off of Summit Street and relocating it to the west.

Commissioner Hildebrand asked why a parking lot alteration required site plan review and approval by the Plan Commission. DPW Director Austin explained it required approval due to the new driveway accesses shown on the plan. A simple restriping or re-asphalting would not require Plan Commission approval.

Motion was made by Schmitz/Nicolaus to approve the site plan for 15 Plymouth Street, St. John the Baptist Congregation, for the alteration of an existing parking lot. Upon the call of the roll, all voted aye. Motion carried.

**4.) Site Plan Seeking Approval: Parcel number 59271822750 (southeast corner of STH 57 and CTH PP), Sargento Cheese Inc, regarding proposed plans to construct an approximately 384,000 square foot industrial facility in the H-I Heavy Industrial zoning district. Sargento Cheese/Kraemer & Davis (enclosure)**

In May 2025, Sargento Cheese, Inc. successfully petitioned the City for a rezone and comprehensive plan amendment to rezone ~66 acres of property on the southeastern corner of the intersection of State Highway 57 and County Highway PP from agricultural to heavy industrial in an effort to accommodate potential future development on the site.

Sargento has now submitted plans to formally develop the site. Brett Kraemer and Diane Davis, on behalf of Sargento Cheese, Inc., have submitted a site plan review application for a new, one-story 384,000 square foot manufacturing facility on the north side of the site. The building will ultimately house a combination of office, warehousing, production, and cooler space and serve as a new anchor for Sargento's presence on the southeast side of the City. Sargento has estimates of construction beginning in spring of 2026 with estimated completion sometime in 2027.

City presented their report and findings as outlined in the packet material, noting they recommended contingent approval of the site plan with the following items still to be addressed:

- Traffic Impact Analysis coming back to the Plan Commission for final approval once staff can review.
- Water Demand: Approval from Plan Commission for the site to be contingent on an approved utility plan by the Director of Public Works.
- Sanitary Demand: Utility is currently investigating capacity in the existing infrastructure. Approval from Plan Commission for the site to be contingent on an approved utility plan by the Director of Public Works.
- Stormwater Management Plan: Approval from Plan Commission for the site to be contingent on an approved Stormwater Management Plan.

Brett Kraemer from Sargento was present and asked if simple earthwork could begin while Sargento worked to satisfy the contingencies. Staff explained they were comfortable with that approach.

Motion was made by Hildebrand/Wyatt to approve the site plan for parcel number 59271822750 (southeast corner of STH 57 and CTH PP), Sargento Cheese Inc, for the proposed plans to construct an approximately 384,000 square foot industrial facility in the H-I Heavy Industrial zoning district, with the contingencies at outlined in the staff report. Upon the call of the roll, all voted aye. Motion carried.

**5.) Discussion and possible recommendation; Modifications to Sec. 13-1-80 & 13-1-82 Existing Non-Conforming Structures. Johnston (enclosure)**

At the June 5, 2025 Plan Commission meeting, the Plan Commission endorsed updates to the PMC 13-1-82 to give property owners some relief to build additions to existing non-conforming structures.

Assistant City Administrator Johnston began discussion with revisiting the June 5<sup>th</sup> meeting and direction from the Plan Commission at that time. The discussion centered around both vertical and lateral additions, as well as substandard lots. They discussed and directed staff to create ordinance language that has a formal approval process through the



Plan Commission for these sorts of additions and improvements, which include public notification and standards for approval.

Johnston informed the Plan Commission those revisions and processes are outlined in the draft ordinance presented to the Plan Commission for recommendation. He asked that any positive recommendation include the contingency of legal review and edits by the City Attorney.

Motion was made by Schmitz/Wyatt to recommend the City Council approve the Modifications to Sec. 13-1-80 & 13-1-82 Existing Non-Conforming Structures ordinance as presented, with minor legal revisions by the City Attorney. Upon the call of the roll, all voted aye with Commissioner Nicolaus abstaining. Motion carried.

**6.) Communication – Letters, E-mails, or reports Related to the Plan Commission**

Johnston communicated that the regular meeting of the Plan Commission is scheduled for August 7, 2025 at 6 pm.

Motion was made by Nicolaus/Wyatt to adjourn the meeting. A unanimous aye vote was cast. Motion carried.



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**DATE:** July 22, 2025

**TO:** Plan Commission

**FROM:** Jack Johnston, Assistant City Administrator/Community Development Director

**RE:** **Recommendation of Extraterritorial Certified Survey Map;** Parcel numbers 59016217350 and 59016217360 – located on Sandstone Lane in the Town of Plymouth. Rortvedt Trust (enclosure)

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**Background:**

Cheryl Rortvedt, on behalf of the Rortvedt Trust, has submitted a certified survey map (CSM) for extraterritorial review and approval by the City of Plymouth due to the property being within the 1.5 mile extraterritorial review area of the City of Plymouth. The property itself is located within the Town of Plymouth and received Town approval on July 8, 2025.

**Current Configuration vs. Changes:**

The current configuration of the land encompasses two parcels and will split them into three. The western-most parcel is an agricultural farm property with a house, barn, silo, and multiple sheds and a detached garage on site. A small portion of a wetland is located on the eastern end of that parcel per Sheboygan County GIS. To the west is another parcel owned by the Trust. The same wetland encompasses most of the middle of this parcel.

The revised CSM leaves the western-most parcel with the agricultural buildings more-or-less unchanged and splits the eastern parcel into two. Lot 2 on the CSM will be 14.1675 acres and have the wetland bisect it in the middle. The new Lot 3 on the far east of the CSM is 6.8746 acres in size and does not show any wetlands present on the lot.

**Public Works/Plymouth Fire Department Review:**

Both Public Works Director Austin and Chief Pafford reviewed the proposal and have no concerns. Chief Pafford noted that any potential future driveway is required to have a stake at 500 feet from the house. This is to allow the Fire Department to drop supply hose at that point for the next truck to hook into.

**Sheboygan County Approval:**

The Town of Plymouth approved this CSM on July 8, but it also requires Sheboygan County review. Sheboygan County has provided conditional approval of the CSM and their letter is attached.

**City Approval Process:**

The City's Common Council would ultimately be the body to give approval of the CSM from the City of Plymouth. However, the Plan Commission must first furnish a recommendation to the Council.

**Staff Recommendation:**

The property is not located near adjacent City lands or roadways. As such, staff recommends the Plan Commission recommend approval the extraterritorial CSM for the property as presented. Final approval of the CSM is scheduled to be held at the Common Council meeting at a later date.

**Copies Mailed/Emailed To:**

- I. Cheryl Rortvedt: [scrortvedt@excel.net](mailto:scrortvedt@excel.net)

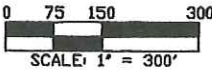
**Attachments:**

- I. Certified Survey Map

CERTIFIED SURVEY MAP

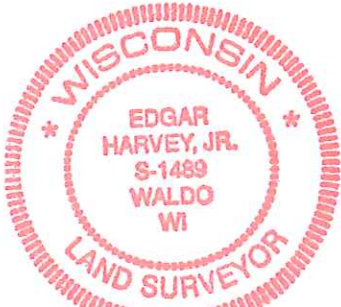
PART OF THE SE 1/4, SECTION 18, T15N, R21E, TOWN OF  
PLYMOUTH, SHEBOYGAN COUNTY, WISCONSIN.

BEARINGS HEREON ARE REFERENCED  
TO THE SHEBOYGAN COUNTY  
COORDINATE GRID. THE SOUTH LINE  
SE 1/4 SECTION 18 IS RECORDED TO  
BEAR N89°39'12"E



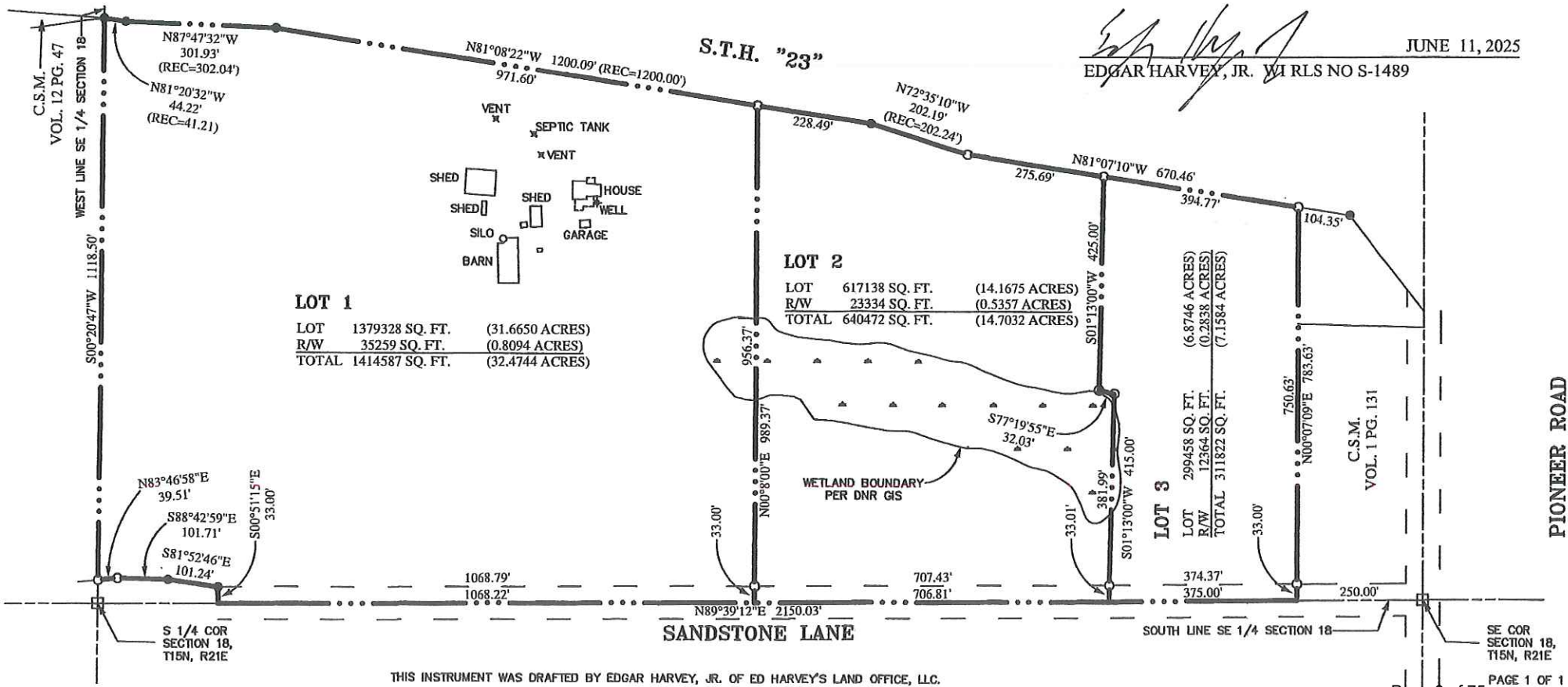
LEGEND

- 1" x 24" IRON PIPE SET WEIGHING  
1.13 LBS / LIN FT
- 1" IRON PIPE FOUND
- COUNTY MONUMENT FND



I HEREBY CERTIFY THAT THIS  
SURVEY IS CORRECT TO THE BEST  
OF MY KNOWLEDGE AND BELIEF

*Edgar Harvey, Jr.*  
JUNE 11, 2025  
EDGAR HARVEY, JR. WI RLS NO S-1489



THIS INSTRUMENT WAS DRAFTED BY EDGAR HARVEY, JR. OF ED HARVEY'S LAND OFFICE, LLC.



**CERTIFIED SURVEY MAP**  
**PART OF THE SE ¼ SE ¼ AND PART OF THE SW ¼ SE ¼, SECTION 18, T15N, R21E, TOWN OF PLYMOUTH, SHEBOYGAN COUNTY, WISCONSIN**

**CERTIFICATE OF SURVEYOR**

I, Edgar Harvey, Jr., State of Wisconsin Registered Land Surveyor Number S-1489, do hereby certify that, in full compliance with the provisions of chapter 236 of the Wisconsin State Statutes and the subdivision regulations of Sheboygan County, the Town of Plymouth, and the City of Plymouth, and under the order and direction of Cheryl J. Rortvedt, the trustee of the Steven J. Rortvedt and Cheryl J. Rortvedt revocable living trust of 2007, owner, I have surveyed, mapped and divided into three (3) lots, part of the SE ¼ SE ¼ and part of the SW ¼ SE ¼, Section 18, T15N, R21E, Town of Plymouth, Sheboygan County, Wisconsin, described as follows:

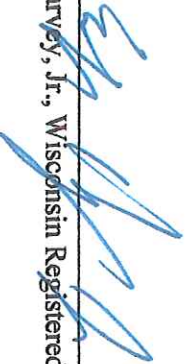
Commencing at the southeast corner Section 18, T15E, T21E; thence S89°39'12"W, along the south line SE ¼ said Section 18, 250.00 feet to the southwest corner of the certified survey map recorded in volume 1, page 131 of Sheboygan County Certified Survey Maps, said point being the true point of beginning.

Thence N00°07'09"E, along the west line of the certified survey map recorded in volume 1, page 131 of Sheboygan County Certified Survey Maps, 783.63 feet to the south line of STH 23; thence N81°07'10"W, along said south line, 670.46 feet; thence N72°35'10"W, along said south line, 202.19 feet (recorded as 202.24 feet); thence N81°08'22"W, along said south line, 1200.09 feet (recorded as 1200.00 feet); thence N87°47'32"W, along said south line, 301.93 feet (recorded as 302.04 feet); thence N81°20'32"W, along said south line, 44.22 feet (recorded as 41.21 feet) to the west line SE ¼ Section 18; thence S00°20'47"W, along said west line, 1118.50 feet to the north line of Sandstone Lane; thence N83°46'58"E, along said north line, 39.51 feet; thence S88°42'59"E, along said north line, 101.71 feet; thence S81°52'46"E, along said north line, 101.24 feet; thence S00°51'15"E 33.00 feet to the south line SE ¼ Section 18; thence N89°39'12"E, along said south line, 2150.03 feet to the point of beginning and containing 2366876 square feet (54.3360 acres) of land, including therein 70957 square feet (1.6289 acres) lying within the right of way of Sandstone Lane.

I further certify that this survey is correct to the best of my knowledge and belief.

Edgar Harvey, Jr., Wisconsin Registered Land Surveyor Number S-1489

Date



**CERTIFICATE OF OWNER**

As owner, I do hereby certify that I have caused the land shown on this map to be surveyed, divided and mapped as shown on this map.



Date

6-18-25

Cheryl J. Rortvedt  
trustee of the Steven J. Rortvedt and Cheryl J. Rortvedt  
revocable living trust of

CERTIFIED SURVEY MAP

PART OF THE SE ¼ SE ¼ AND PART OF THE SW ¼ SE ¼, SECTION 18, T15N, R21E, TOWN OF  
PLYMOUTH, SHEBOYGAN COUNTY, WISCONSIN

CERTIFICATE OF CITY COUNCIL (Extraterritorial Jurisdiction)

This Certified Survey Map has been submitted to, reviewed and approved by the Common Council of the City of  
Plymouth.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2025

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Clerk

CERTIFICATE OF TOWN BOARD

This Certified Survey Map has been reviewed and approved by the Town Board of the Town of Plymouth.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2025

\_\_\_\_\_  
Town chairman

\_\_\_\_\_  
Town Clerk

CERTIFICATE OF COUNTY PLANNING AND CONSERVATION DEPARTMENT

This Certified Survey Map has been reviewed and approved by the Sheboygan County Planning and Conservation  
Department.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2025

\_\_\_\_\_  
Title:





# ***Sheboygan County***

## ***Planning & Conservation Department***

Administration Building  
P: (920) 459-3060

508 New York Avenue  
P: (920) 459-1370

Sheboygan, WI 53081-4126  
E: [plancon@sheboygancounty.com](mailto:plancon@sheboygancounty.com)

Director, Aaron C. Brault

June 25, 2025

CHERYL J RORTVEDT  
W6632 SANDSTONE LN  
PLYMOUTH WI 53073-3435

RE: Certified Survey Map, Rortvedt property, Section 18, Town of Plymouth

Dear Ms. Rortvedt,

Sheboygan County's Planning & Conservation Department (Department) serves as an "approving authority" in the land division process within unincorporated areas of Sheboygan County. On June 18, 2025, a certified survey map (CSM) of the above-named property was submitted to this Department for preliminary review for compliance with the *Sheboygan County Subdivision Ordinance* (Ordinance). Once a CSM is submitted to our Department we have 30 days to review and approve, approve conditionally, or deny the land division.

Please be advised that approval or conditional approval from the County does not imply approval by the town government in which the parcel is located. Please work closely with the town to ensure compliance with all local ordinances that apply to the proposed land division. The Department cannot approve a land division without the necessary town approvals and signatures. Additionally, the Department has certain requirements that need to be met before the CSM is officially signed and approved. These requirements are listed below.

Prior to County approval, the Department must receive:

1. An updated original version of the certified survey map with all required signatures. Minor changes to the current CSM are needed by your surveyor. He was made aware of these changes on June 25, 2025.
2. A Termination of Decedent's Interest (HT-110) relinquishing Steven's interest for the property is needed before the CSM can be recorded. An attorney or title company may be able to draft this document for you.
3. The original copy of all soil tests completed on the property for Lots 2 & 3. Please note that the County's approval of the CSM does not guarantee buildability without complete, accurate soil tests for these sites. Department staff has already notified your surveyor of this requirement.
4. A check for \$275 made payable to the "Sheboygan County Treasurer" to cover the review fee.

At this time, I am **Conditionally Approving** the map. Once the above requirements are met please schedule a time with our office so we can sign off on the CSM.

If you have any further questions, please feel free to contact me at 920-459-3060.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tyler Betry', with a long horizontal flourish extending to the right.

Tyler Betry  
Deputy Director / County Conservationist





**DATE:** July 22, 2025

**TO:** Plan Commission

**FROM:** Clara Yoder, Administrator Intern  
Jack Johnston, Assistant City Administrator/Community Development Director

**RE:** **Site Plan Seeking Approval;** 216 Western Ave, William Brin, for the installation of a 77 square foot shed. Brin (enclosure)

ZONING CONSISTENCY MATRIX		
	<i>Required</i>	<i>Provided</i>
<b>Zoning</b>	B-2	B-2 (no change)
<b>Maximum Lot Coverage of All Buildings</b>	None	n/a
<b>Minimum Lot Width at Building Line</b>	None	n/a
<b>Minimum Front Yard Setback</b>	None	n/a
<b>Minimum Side Yard Setback</b> <b>Principal Building</b> <b>Accessory Building</b>	None	n/a
<b>Minimum Rear Yard Setback</b>	None	n/a
<b>Maximum Height Any Structures</b>	Principal: 45' Accessory: 25'	~8'

**Background:**

William Brin has submitted an application to install a 7' by 11' storage shed on the northeast corner of 216 Western Ave. B-2 zoning does not have setbacks, so the placement of the shed is conforming. The property is used as a single-family home. The Plan Commission does not typically review additions or new constructions for residential properties, but as the property's base zoning is B-2 general business (housing is a permitted use), a site plan review is required by City code.

It should be noted the shed is prefab and was installed prior to Plan Commission approval/building permit issuance. Speaking with the building permit office, it is common for prefab sheds to be installed by homeowners and permits be issued afterwards.

**City Zoning/Comprehensive Plan:**

The property is within the B-2 Business General zoning district. According to section 13-1-140 of City Code, the proposed shed conforms to the required setbacks for the district. The code indicates that both the existing building and the proposed shed meet the setback requirements. The Plan Commission should note that the B-2 district has specific setback restrictions for principal and accessory buildings, as outlined in city code.

**Shoreland Zoning/Wetlands/Floodplain:**

The property is not within City shoreland zoning nor an identified or suspected wetland. FEMA flood plain mapping also indicates the property is outside an identified floodplain.

**Public Works/Plymouth Fire Department Review:**

Both the Public Works Director Austin and Chief Pafford reviewed the proposal and have no concerns.

**Plan Commission Consideration(s):**

Sec. 15-1-3(g) of the City Code indicates that the Plan Commission must review and approve any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts\* before the issuance of a building permit from the building inspector:

*\*As this property has business zoning, a site plan review is still required.*

- *Site plan approval.* All applications for building permits for any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts shall require site plan approval by the plan commission.

When considering acting on a site plan application, the Plan Commission should consider the following:

- a. The appropriateness of the site plan and buildings in relation to the physical character of the site and the usage of adjoining land areas.
- b. The layout of the site with regard to entrances and exits to public streets; the arrangement and improvement of interior roadways; the location, adequacy and improvement of areas for parking and for loading and unloading; and shall, in this connection, satisfy itself that the traffic pattern generated by the proposed construction or use shall be developed in a manner consistent with the safety of residents and the community, and the applicant shall so design the construction or use as to minimize any traffic hazard created thereby.
- c. The adequacy of the proposed water supply, drainage facilities and sanitation and waste disposal.
- d. The landscape and appearance of the completed site. The plan commission may require that those portions of all front, rear and side yards not used for off-street parking shall be attractively planted with trees, shrubs, plants or grass lawns, and that the site be effectively screened so as not to impair the value of adjacent properties nor impair the intent of purposes of this section.

**Staff Recommendation:**

Staff recommends the Plan Commission approve the detached shed for the 216 Western Avenue property.

**Copies Mailed/Emailed To:**

- I. William Brin: [bilabrin@yahoo.com](mailto:bilabrin@yahoo.com)

**Attachments:**

- I. GIS Map/Photo
- II. Building Plan Materials

Attachment I:





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**DATE:** July 9, 2025

**TO:** Plan Commission

**FROM:** Clara Yoder, Administrator Intern

**RE:** **Site Plan Seeking Approval;** 615 E. Main St, Jonathon Puetz, for the construction of a 308 square foot detached garage. Puetz (enclosure)

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ZONING CONSISTENCY MATRIX		
	<i>Required</i>	<i>Provided</i>
<b>Zoning</b>	B-2	B-2 (no change)
<b>Maximum Lot Coverage of All Buildings</b>	None	n/a
<b>Minimum Lot Width at Building Line</b>	None	n/a
<b>Minimum Front Yard Setback</b>	None	n/a
<b>Minimum Side Yard Setback Principal Building Accessory Building</b>	None	n/a
<b>Minimum Rear Yard Setback</b>	None	n/a
<b>Maximum Height Any Structures</b>	Principal: 45' Accessory: 25'	~11.5' for garage (from top of roof)

**Background:**

Jon Puetz has submitted an application to construct a 14' by 22' storage garage on the southwest corner of 615 East Main Street. The project also calls for an overhang to be 12" off the west property line and 48" off south property line to avoid underground power utilities. B-2 zoning does not have setbacks, so the placement of the garage is conforming. The property is used as a single-family home. The Plan Commission does not typically review additions or new constructions for residential properties, but as the property's base zoning is B-2 general business (housing is a permitted use), a site plan review is required by City code.

**City Zoning/Comprehensive Plan:**

The property is within the B-2 Business General zoning district. According to section 13-1-140 of City Code, the proposed detached garage conforms to the required setbacks for the district. The code indicates that both the existing building and the proposed garage meet the setback requirements. The Plan Commission should note that the B-2 district has specific setback restrictions for principal and accessory buildings, as outlined in city code.

**Shoreland Zoning/Wetlands/Floodplain:**

The property is not within City shoreland zoning nor an identified or suspected wetland. FEMA flood plain mapping also indicates the property is outside an identified floodplain.

**Public Works/Plymouth Fire Department Review:**

Both the Public Works Director Austin and Chief Pafford reviewed the proposal and have no concerns.

**Plan Commission Consideration(s):**

Sec. 15-1-3(g) of the City Code indicates that the Plan Commission must review and approve any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts\* before the issuance of a building permit from the building inspector:

*\*As this property has business zoning, a site plan review is still required.*

- *Site plan approval.* All applications for building permits for any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts shall require site plan approval by the plan commission.

When considering acting on a site plan application, the Plan Commission should consider the following:

- a. The appropriateness of the site plan and buildings in relation to the physical character of the site and the usage of adjoining land areas.
- b. The layout of the site with regard to entrances and exits to public streets; the arrangement and improvement of interior roadways; the location, adequacy and improvement of areas for parking and for loading and unloading; and shall, in this connection, satisfy itself that the traffic pattern generated by the proposed construction or use shall be developed in a manner consistent with the safety of residents and the community, and the applicant shall so design the construction or use as to minimize any traffic hazard created thereby.
- c. The adequacy of the proposed water supply, drainage facilities and sanitation and waste disposal.
- d. The landscape and appearance of the completed site. The plan commission may require that those portions of all front, rear and side yards not used for off-street parking shall be attractively planted with trees, shrubs, plants or grass lawns, and that the site be effectively screened so as not to impair the value of adjacent properties nor impair the intent of purposes of this section.

**Staff Recommendation:**

Staff recommends the Plan Commission approve the detached garage for the 615 East Main Street property.

**Copies Mailed/Emailed To:**

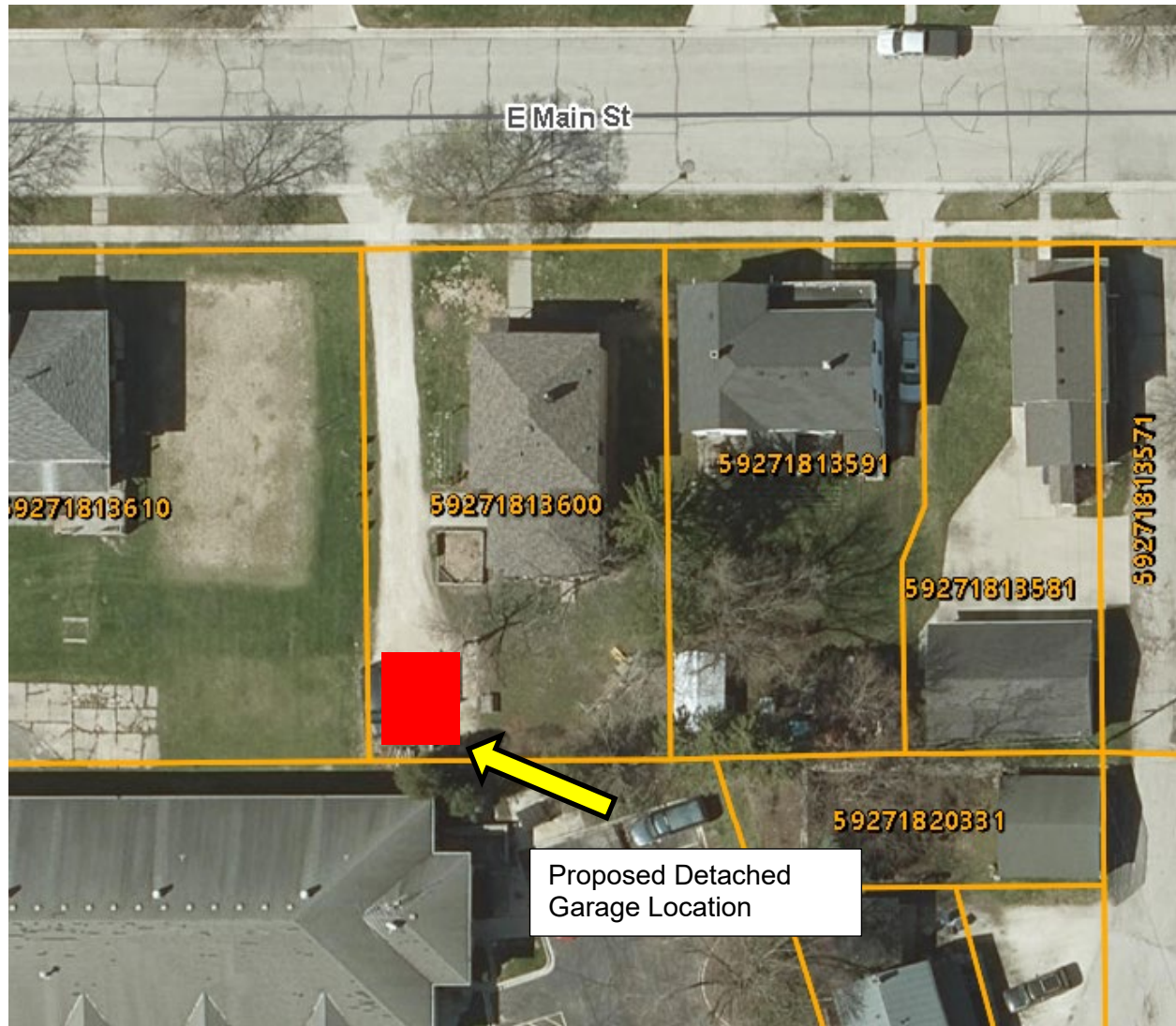
- I. Jon Puetz: [jpthebuilder@live.com](mailto:jpthebuilder@live.com)

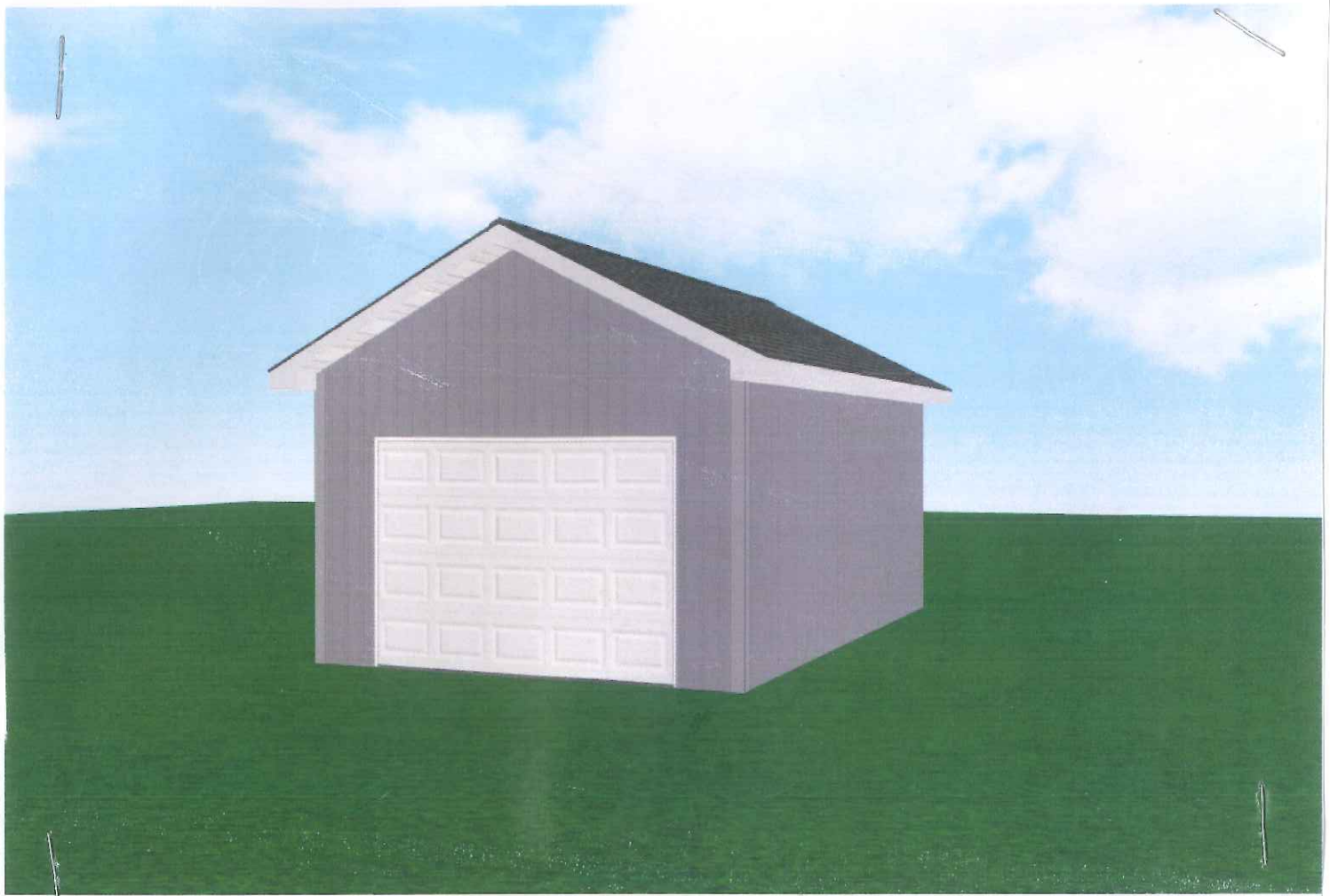
**Attachments:**

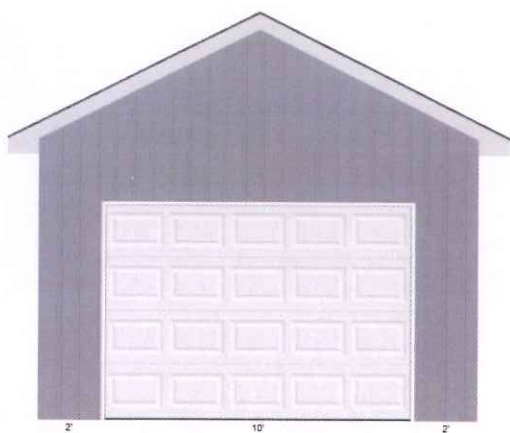
- I. GIS Map
- II. Building Plan Materials



Attachment I

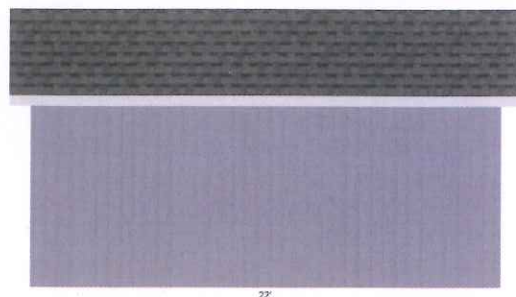




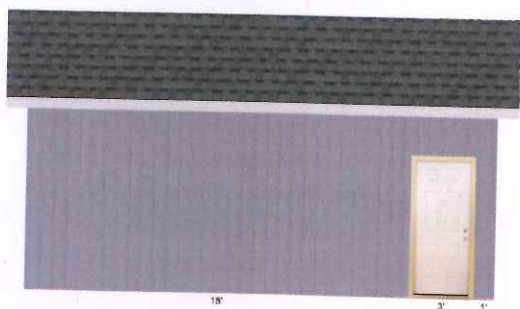


**ENDWALL B**

10x7 White Raised Panel Plain Torsion Spring (R-Value 6.5)

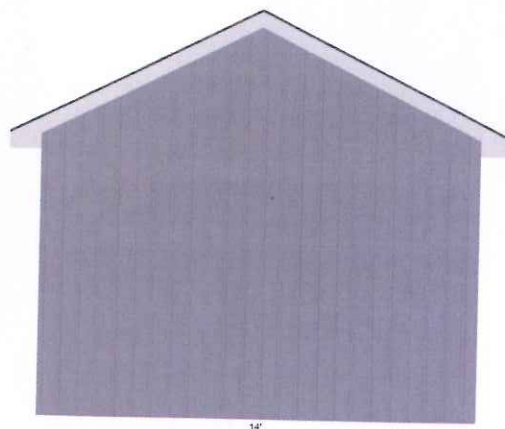


**SIDEWALL D**



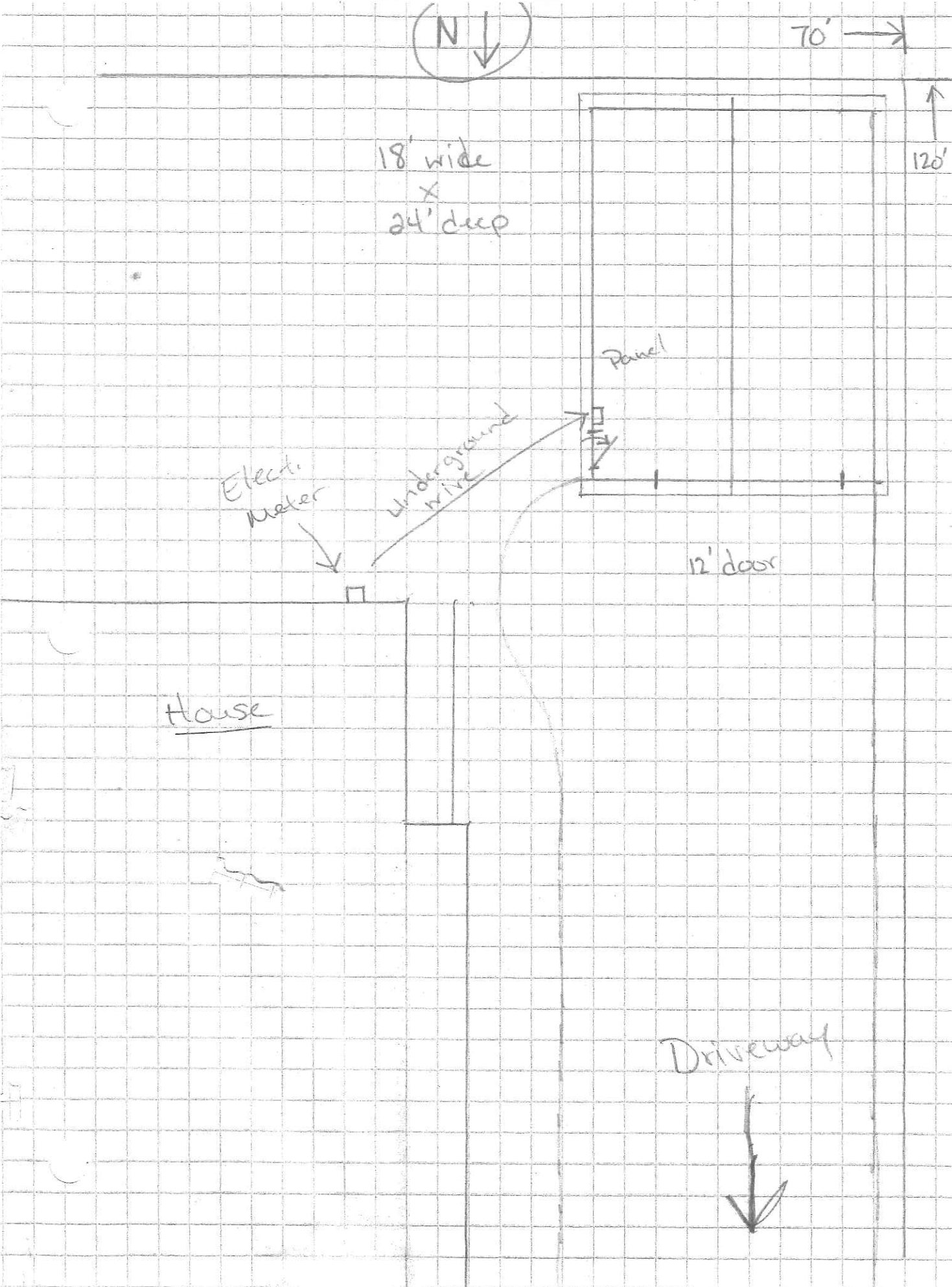
**SIDEWALL C**

Mastercraft® 36W x 80H Primed Steel 6-Panel



**ENDWALL A**







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**DATE:** July 16, 2025

**TO:** Plan Commission

**FROM:** Jack Johnston, Assistant City Administrator/Community Development Director

**RE:** **Site Plan Seeking Approval;** 716-744 N. Pleasant View Road, Fairview Crossing Apartment Assoc. LP, for the installation of a new community clubhouse and parking lot expansion. Schumacher (enclosure)

---

ZONING CONSISTENCY MATRIX		
	<i>Required</i>	<i>Provided</i>
<b>Zoning</b>	R-4	R-4
<b>Maximum Lot Coverage of All Buildings</b>	50%	~12%
<b>Minimum Lot Width at Building Line</b>	125'	~500'
<b>Minimum Front Yard Setback</b>	30'	~108' from Valley Rd
<b>Minimum Side Yard Setback</b>		~97' from western lot line
<b>Principal Building</b>	15'	
<b>Accessory Building</b>	3'	
<b>Minimum Rear Yard Setback</b>	25'	n/a (corner lot)
<b>Maximum Height Any Structures</b>	35'	~20'

**Background:**

Fairview Crossings Apartments, located along Valley Road and N. Pleasant View Road, have applied for a new clubhouse, expanded parking lot, and a new driveway access. The clubhouse will be 2,634 square feet and feature a gathering room, activity room, two offices, bathrooms, site storage, and a trellised patio area.

An existing detached garage will be removed, and a new asphalted parking lot will be installed featuring approximately 16 new parking spaces adjacent to the new clubhouse. The clubhouse siding will match the existing residential buildings on site. The site plan also shows a new driveway access off of Valley Road adjacent to the new parking lot for the clubhouse.

**City Zoning/Comprehensive Plan:**

The property is within the R-4 multi-family residential district and is conforming in terms of the current use on the property. The City's Comprehensive Plan and 2024 Housing Study encourage housing options at all levels. While this improvement to the property does not add new housing, it does add amenities for current and future residents at Fairview Crossing. The proposal is harmonious with the City's Comprehensive Plan and does not require a rezone to move forward.

**Shoreland Zoning/Wetlands/Floodplain:**

The property is not within any shoreland zoning, wetlands, or floodplain.

**Public Works/Plymouth Fire Department Review:**

Both Public Works Director Austin and Chief Pafford reviewed the proposal have the following comments.

Public Works:

- Provide a grading and utility plan (storm, sanitary, and water). Can be submitted to the City after Site Plan Approval by Plan Commission.

Fire Department:

- No concerns – secondary driveway access off of Valley Road should assist serving the property during emergencies in a more timely manner.

**Plan Commission Consideration(s):**

Sec. 15-1-3(g) of the City Code indicates that the Plan Commission must review and approve any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts before the issuance of a building permit from the building inspector:

- *Site plan approval.* All applications for building permits for any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts shall require site plan approval by the plan commission.

When considering acting on a site plan application, the Plan Commission should consider the following:

- a. The appropriateness of the site plan and buildings in relation to the physical character of the site and the usage of adjoining land areas.
- b. The layout of the site with regard to entrances and exits to public streets; the arrangement and improvement of interior roadways; the location, adequacy and improvement of areas for parking and for loading and unloading; and shall, in this connection, satisfy itself that the traffic pattern generated by the proposed construction or use shall be developed in a manner consistent with the safety of residents and the community, and the applicant shall so design the construction or use as to minimize any traffic hazard created thereby.
- c. The adequacy of the proposed water supply, drainage facilities and sanitation and waste disposal.
- d. The landscape and appearance of the completed site. The plan commission may require that those portions of all front, rear and side yards not used for off-street parking shall be attractively planted with trees, shrubs, plants or grass lawns, and that the site be effectively screened so as not to impair the value of adjacent properties nor impair the intent of purposes of this section.

**Staff Recommendation:**

Staff recommends the Plan Commission approve the site plan for the Fairview Crossings clubhouse, parking lot expansion, and new driveway access as presented.

**Copies Mailed/Emailed To:**

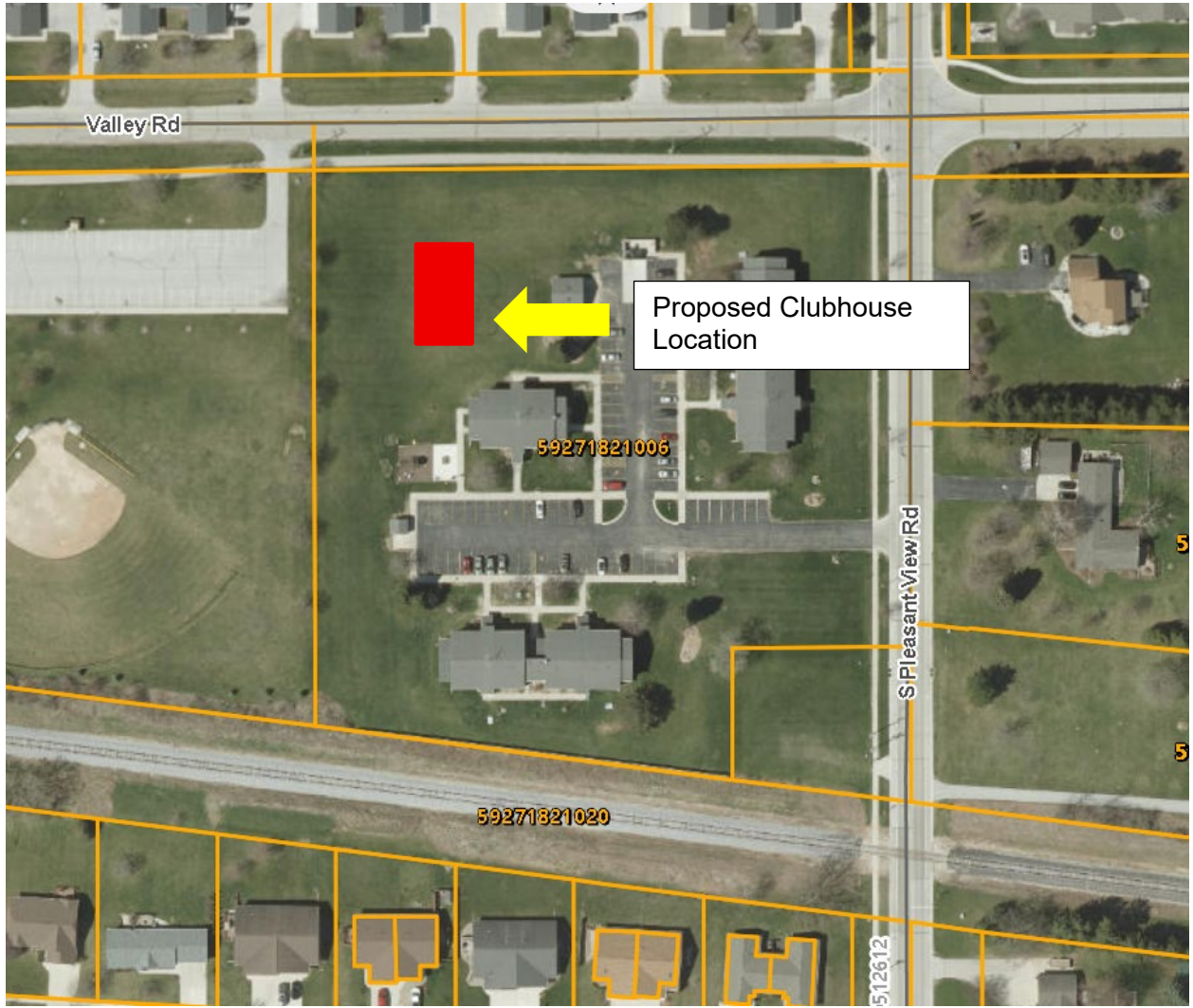
- I. Greg Schumacher: [greg@cityscapearchitecture.com](mailto:greg@cityscapearchitecture.com)

**Attachments:**

- I. GIS Map
- II. Applicant Materials



**Attachment I**



June 16, 2025

## Clubhouse Narrative

**Location:**

Fairview Crossing Apartments  
744 Pleasant View Road  
Plymouth, WI 53073



To whom it may concern,

Fairview Crossings is proposing a new single story, 2,634 sf clubhouse located at the northwest corner of the site. This building will house a Gathering Room, Activity Room, (2) offices, Toilets, Site Storage and a trellised patio area.

The Site Storage area will replace the current garage which will be demolished. This will allow for the existing apartment parking numbers to remain and provide additional spaces for the clubhouse. The current site pole lighting will be relocated to provide adequate lighting of the new parking area.

The building was designed to blend in with the surrounding buildings. The base of the building will be brick with a stone sill. The upper part of the building will be vinyl siding with trim boards. The exterior windows will be insulated vinyl with trim boards. All the materials and details will match or compliment the existing apartment buildings. The covered trellis patio was located so participants could enjoy the view of the park area to the west.

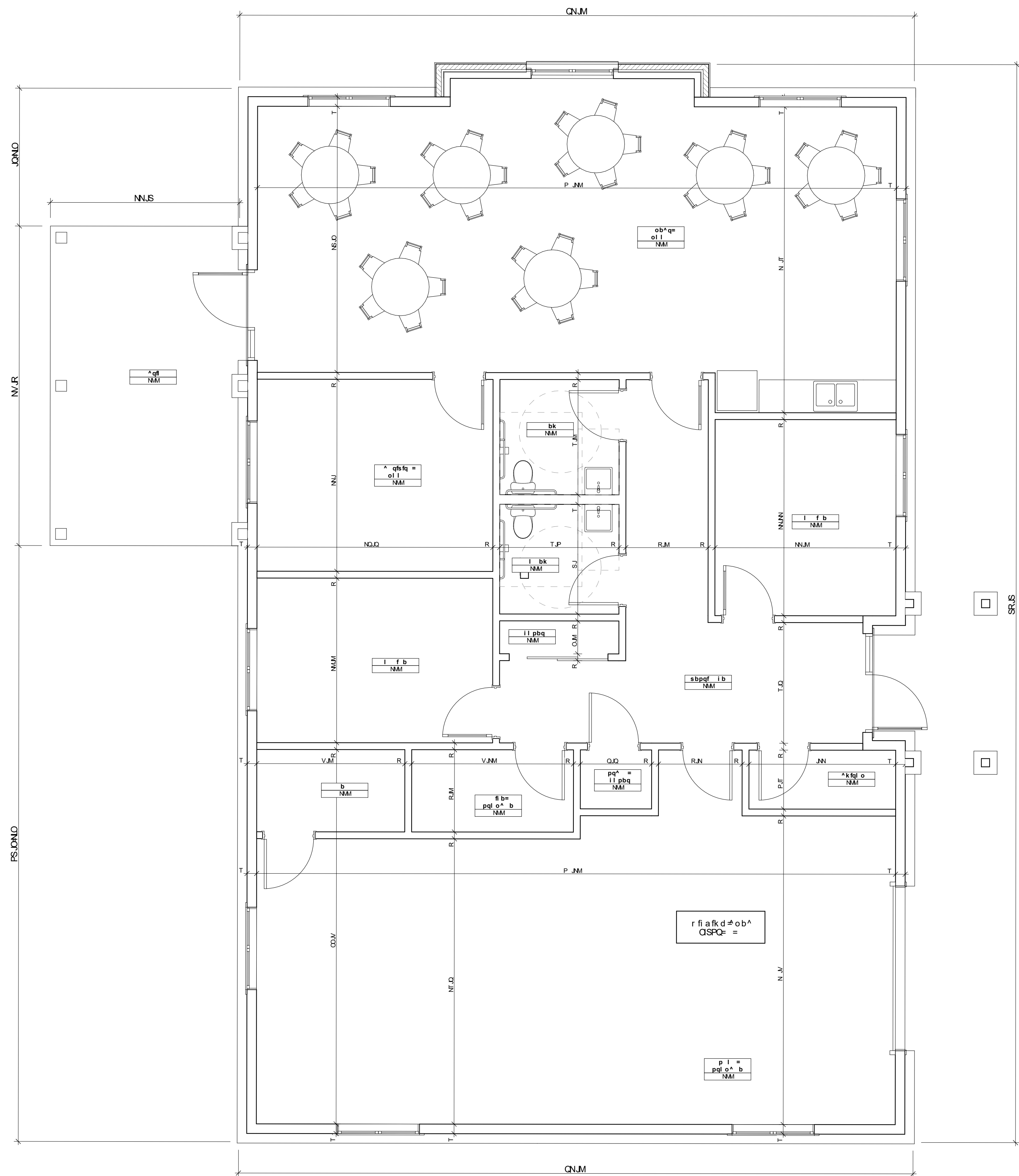
Sincerely

A handwritten signature in blue ink, appearing to read "GRAS", with a long horizontal flourish extending to the right.

Greg Schumacher, AIA

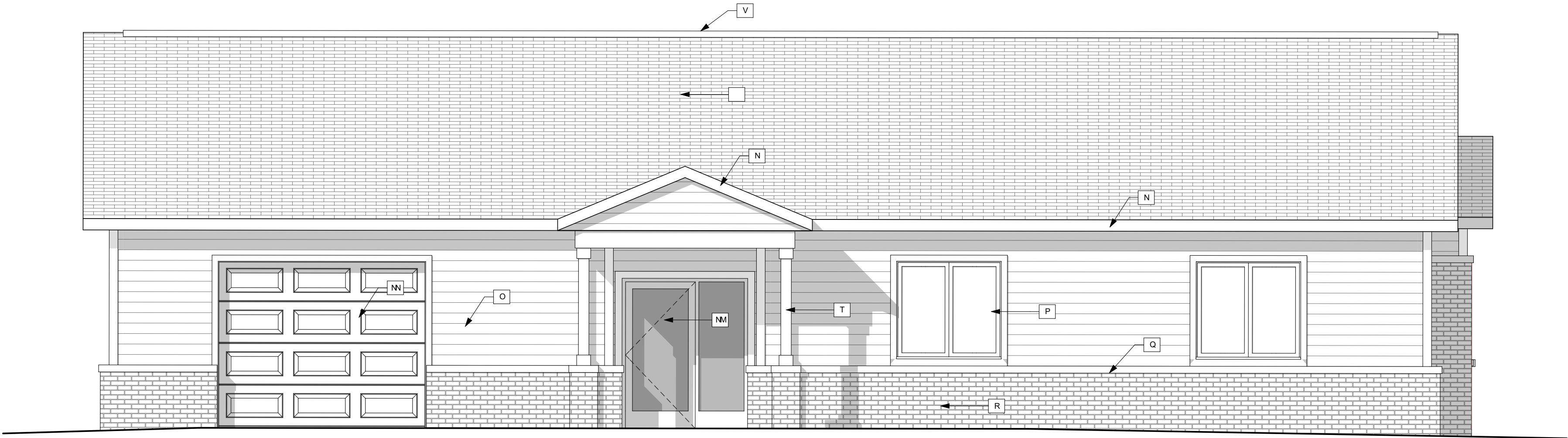




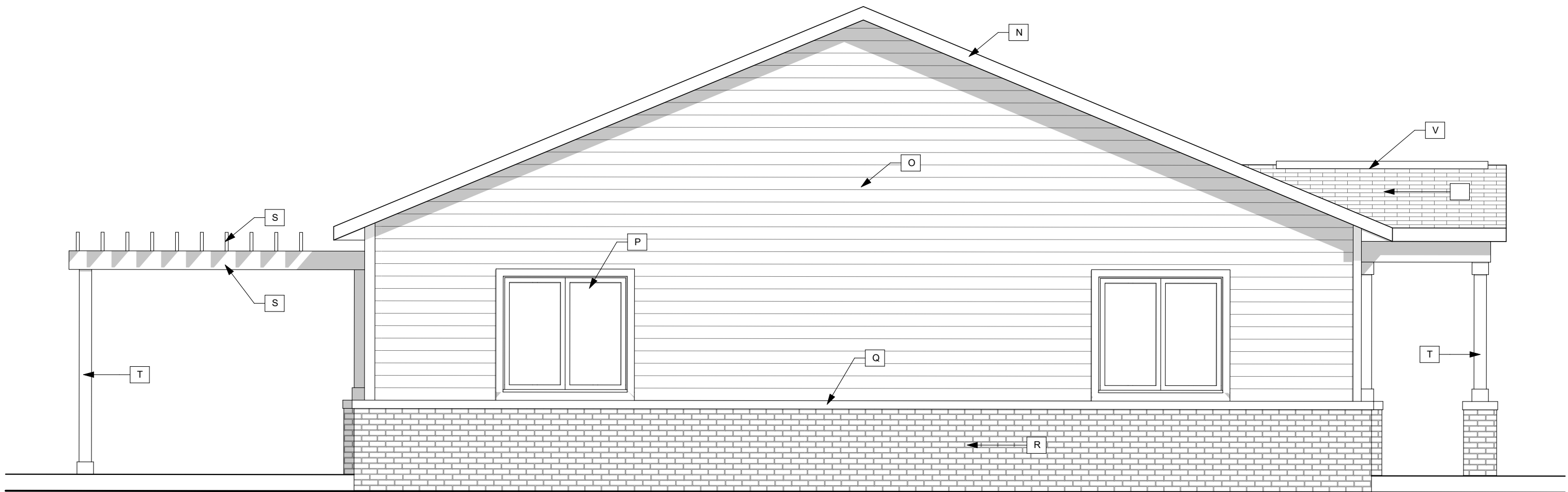


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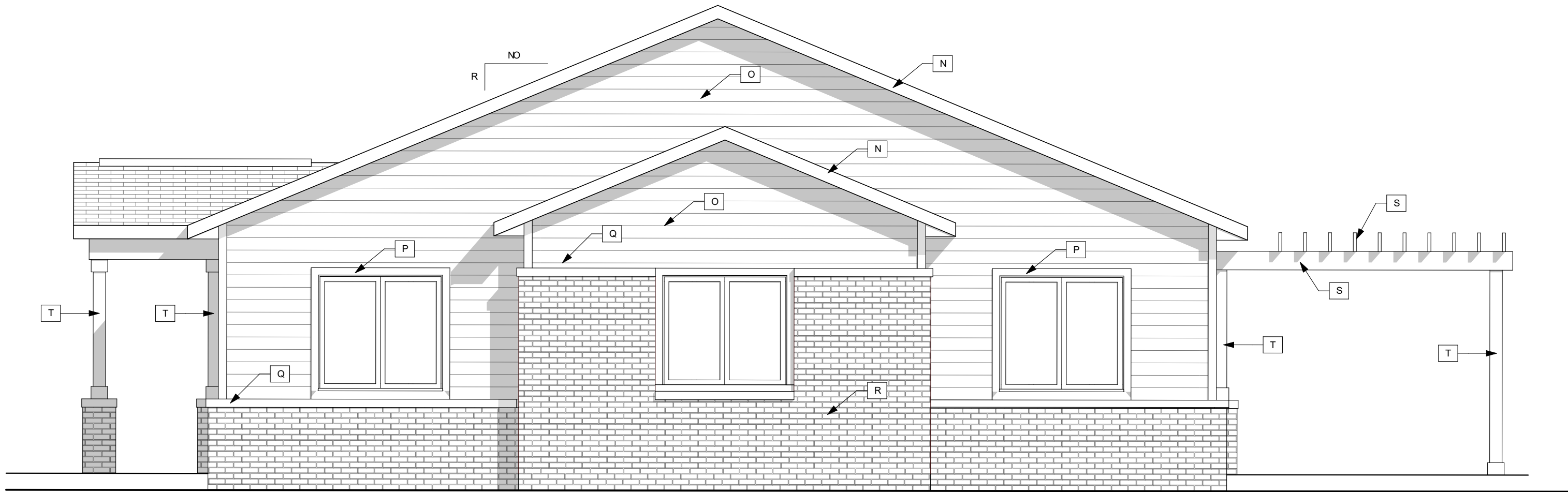
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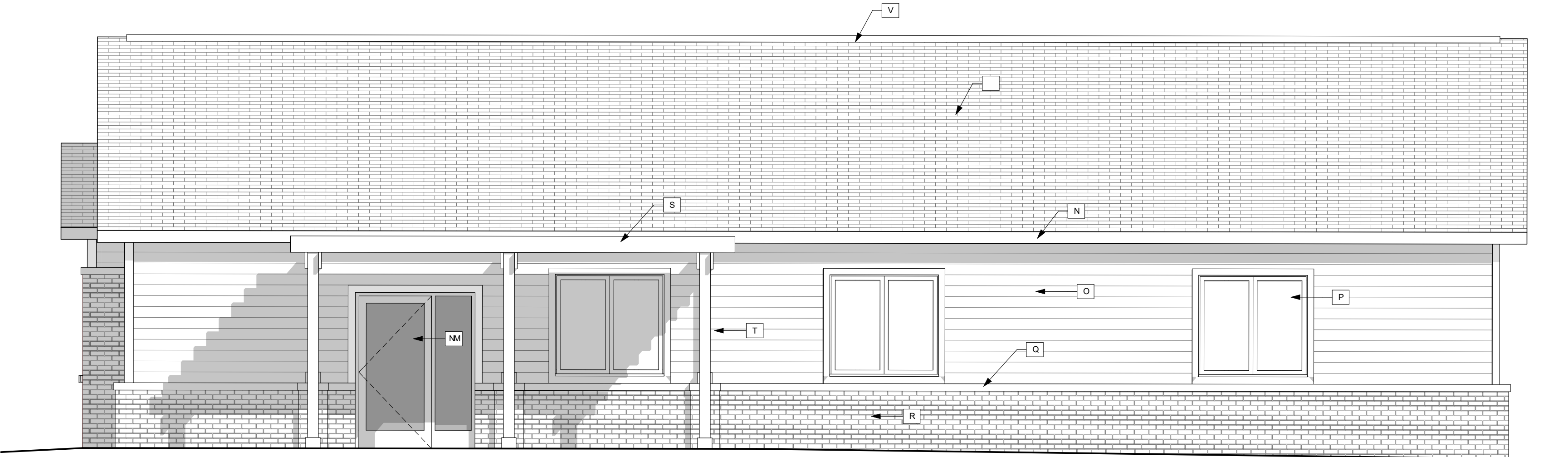
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**DATE:** July 30, 2025

**TO:** Plan Commission

**FROM:** Jack Johnston, Assistant City Administrator/Community Development Director

**RE:** **Recommendation of City of Plymouth Certified Survey Map;** Parcel number 59271827950 – located on Kiley Way and Walton Drive in the City of Plymouth, to divide the parcel into two parcels of 1.81 acres and 1.4 acres in the B-1 Business Office zoning district. LaMacchia Group/Excel (enclosure)

**Site Plan Seeking Approval;** Parcel number 59271827950, to construct a new 2,909 square foot financial institution to be occupied by Premier Financial Credit Union. Property to be located on the corner of Kiley Way and Walton Drive. LaMacchia Group/Excel (enclosure)

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ZONING CONSISTENCY MATRIX		
	<i>Required</i>	<i>Provided</i>
<b>Zoning</b>	B-1	B-1 (for Credit Union)
<b>Minimum Frontage</b>	n/a	>175' on both streets
<b>Maximum Lot Coverage of All Buildings</b>	50%	~4.7%
<b>Minimum Lot Width at Building Line</b>	100'	~200'
<b>Minimum Front Yard Setback</b>	30'	119.58' to east 70.03' to south
<b>Minimum Side Yard Setback</b>	10'	89.91' to the north 109.51' to the west
<b>Minimum Rear Yard Setback</b>	25'	n/a (two front yards)
<b>Maximum Height Principal Structures</b>	60'	
<b>Parking Space Requirements</b>	1 spot per 200 square feet of gross floor space; 15 spaces	15 spaces

**Background:**

La Macchia Group, on behalf of their client Premier Financial Credit Union, has submitted a site plan review application for a new 2,909 square foot credit union building on the corner of Kiley Way and Walton Drive.

As part of the project, Excel Engineering has also submitted a two-lot certified survey map (CSM) to divide the current ~3.21 acre parcel into two parcels: a 1.4 acre parcel that will be occupied by Premier Financial, and another 1.81 acre parcel that will remain vacant for future development. The new lots will maintain the existing B-1 Business Office zoning that the existing parcel has.

### **Comprehensive Plan/Zoning**

The City's future land use map within the 2022 Comprehensive Plan identifies this area to be commercial. As such, no comprehensive plan amendment would be required for this project. The CSM creates two conforming lots to City Code.

The proposed use as a credit union is allowed in B-1 which allows professional and business offices, as well as banks as a permitted use.

### **Shoreland Zoning/Wetlands/Floodplain:**

The property is not within shoreland zoning, nor are there known wetlands or floodplain on the property. As such, no special permitting is required for this project to continue.

### **Access/Parking:**

The submitted site plan shows a driveway located off of Walton Drive with a ~40' wide sawcut to provide driveway access to the building from the public street. A separate driveway access off of the private parking lot servicing the strip mall to the west is also shown. The applicant has indicated a shared driveway agreement between the two properties will be recorded for this. This driveway access is not within the purview of the City.

As shown above, code requires 1 parking space for every 200 square feet of floor space for the building. As such, 15 spaces are required due to the size of the building. The submitted site plan shows the required 15 spaces.

### **Landscaping/Lighting Plan:**

Code requires landscaped areas be provided which equal at least 10% of surface drive and parking areas. The provided landscaping plan is in compliance with code. The submitted lighting plan shows four (4) light poles to be installed. The building inspector reviewed the lighting plan and has indicated it complied with international building code standards.

### **Public Works/Plymouth Fire Department Review:**

The site plan has been submitted to the Fire Department and Public Works for review. Fire Chief Pafford reviewed the proposal and does not have any concerns.

Director Austin has reviewed the plans and the Stormwater Management Plan (SWMP). The proposed SWMP meets City ordinance and there are no concerns. The owner will need to enter into a Stormwater Maintenance Agreement with the City.

### **Engineering Review for CSM:**

The CSM was sent to Jay Panetti at Gremmer Engineering for engineering review. Mr. Panetti has submitted a letter with minor corrections to be made to the CSM. All corrections are administrative and minor and should not preclude the Plan Commission from making a recommendation on this matter. City staff would request the applicant make the corrections and submit a fresh map for final review prior to action by the Common Council meeting.

### **Staff Recommendation:**

Staff requests the Plan Commission approve the site plan for the Premier Financial Credit Union building and provide a recommendation for approval of the CSM to split the lot into two. The CSM to approve the land division would be approved by the Common Council at a later date.

These recommendations should be done via separate motions.

**Copies Mailed/Emailed To:**

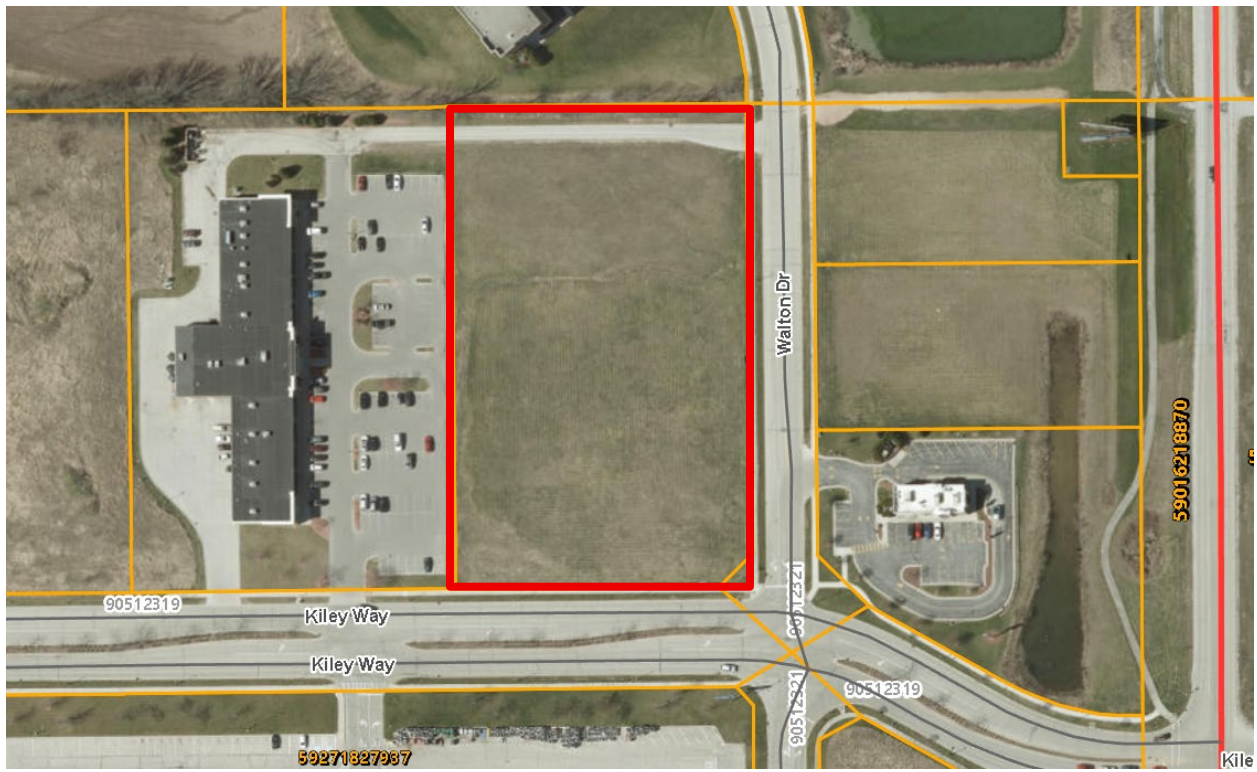
- I. Chris Elias: [celias@lamacchiagroup.com](mailto:celias@lamacchiagroup.com)

**Attachments:**

- I. GIS Map
- II. Site Plan Materials
- III. CSM
- IV. Engineering Review Letter

Action	Date	Status
Plan Commission Meeting Site Plan/CSM Recommendation	8/7/2025	This meeting
Common Council Meeting to Approve CSM	-	Upcoming

**Attachment I:**





July 10, 2025

## Project Narrative

Project: Financial Institution  
Kiley Way and Walton Drive  
Plymouth, WI

LaMacchia Group is requesting site plan review and approval for a proposed financial institution at the corner of Kiley Way and Walton Drive in the City of Plymouth (part of parcel 59271827950). A Certified Survey Map is proposed to split the existing parcel into (2) lots and the project is on lot 1 of the proposed Certified Survey Map. The parcel is currently vacant and zoned B-1. The proposed project is a permitted use.

The proposed lot size will be 1.40 acres and the full lot will be disturbed for the project. The proposed financial institution will be single-story with a 2,909 square foot footprint with a 3-lane canopied drive-thru located on the north side of the building and a single-lane ATM drive-thru on the west side of the building. One-way traffic is proposed on the north side of the building and the remainder of the site will be 2-way traffic flow. A waste enclosure is proposed on the northwest side of the site.

Access to the site is proposed from (1) access point from Walton Drive along with an additional access point on the southwest end of the site connecting to the adjacent property and parking lot to the west. New connector sidewalks will be provided to connect the site to the existing public sidewalks along Walton Drive and Kiley Way. Proposed parking includes 15 spaces (including 1 handicap accessible stall). The site plan is designed to account for potential future building expansion and parking.

Landscape plantings will be provided in accordance with the City requirements, in an approach which ensures species resiliency and complimentary aesthetics. New site lighting will also meet the City requirements in a fashion that provides appropriate foot candles for safety and cut-off fixtures for minimal light trespass.

Stormwater from the proposed development will be conveyed via curb and gutter and sheet flow to storm inlets, connecting into a proposed underground storm chamber system and biofiltration basin which will discharge into the existing storm sewer within Kiley Way right-of-way. New water and sanitary services are proposed to connect to existing subs from mains in Walton Drive.

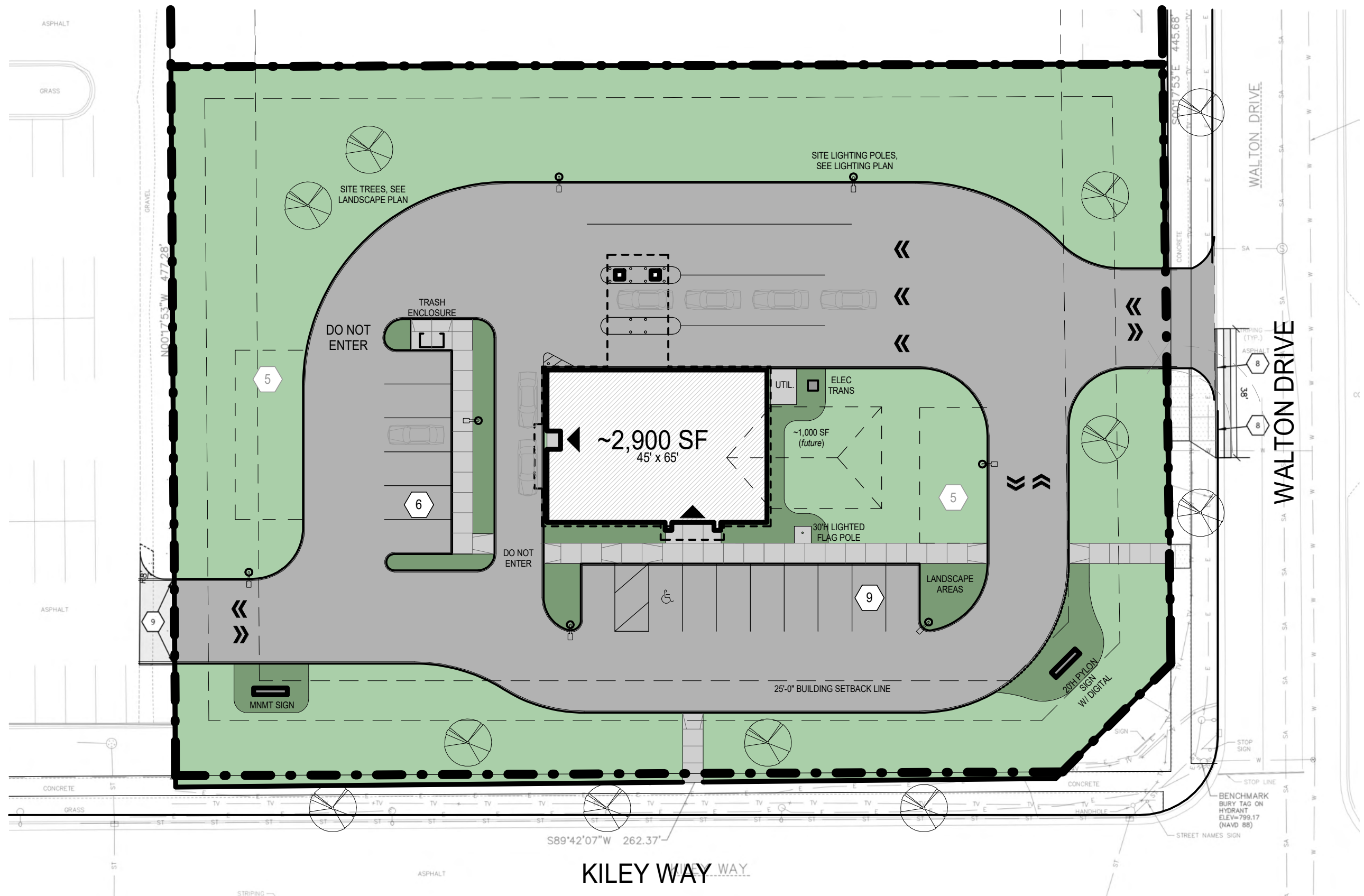
The building will contain building materials similar to the building materials used on existing buildings within their existing branch network for brand recognition purposes. The main material is manufactured Manzanita Cliffstone in earthtones. This stone material is located below the beltline as well as pilasters on each side of the entrance doors. It is also used to frame the large windows next to the entry. The stone is used above the beltline at the drive-up located at the rear of the building, as well as the ATM on the side of the building. The beltline is a precast

stone cap. It is used to separate the Cliffstone from the smooth cement board Flat Gap Siding. The cement board siding is used above the beltline only. It is also used on the cupola, at the center of the roof. The asphalt dimensional shingles, in black sable, are used to cover the entire facility, including the drive-ups, as well as the ATM canopy. The building entrance door frames and windows are aluminum store front in dark bronze anodized finish. The materials consist of earthtone colors which will blend into the surroundings. The waste enclosure will consist of wood posts and clad in composite boards with matching gates. The materials colors will match the building.

Design schemes of the neighboring properties are described below:

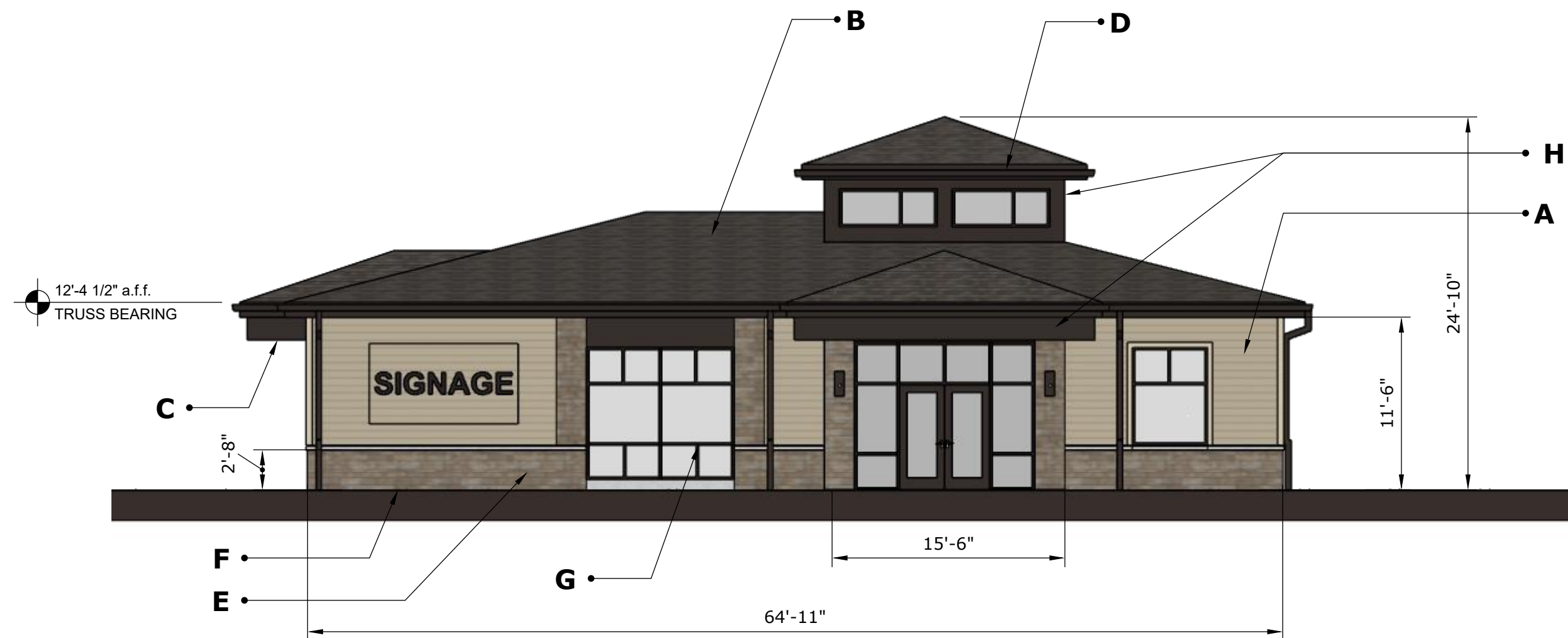
- The closest neighbor to this facility is the Taco Bell quick-serve restaurant located across Walton Drive, to the east. That building consists of stacked stone veneer below a cast stone beltline with ivory-colored EIFS above. The cornice includes a large multi-colored band. This building includes a drive-thru as well.
- The neighbor to the west is a strip mall that contains multiple units. The building materials consist of an ivory-colored split-face block with a precast beltline. Above the beltline is large, oversized brick in a pinkish red hue. Ivory-color EIFS is located above the clear anodized windows and doors.
- The neighbor across Kiley Way, to the southwest, is Walmart. Walmart's main building material consists of two colors of gray split-face block. They use clear anodized metal storefront material at the entrances and windows. Bright blue accents on smooth panels are used above the entrances and behind the logo on the front elevation. They also use a smooth gray panel above the entrances and windows with a pitched standing-seam metal roof.
- The neighbor located diagonally across Kiley Way and Walton Drive to the southeast, is a small simple building. They used a dark gray siding below the beltline with vertical board and batten above, in the same gray. A small corner of the building consists of orange-colored shakes surrounding the drive-up and walk-up windows. All exterior doors are painted to match the orange shakes. The low-sloped roof is a standing seam metal roof.

The proposed development is designed to work in harmony with the existing commercially developed area enhancing the character of the neighborhood. The property will be transformed into a commercial development that is aesthetically pleasing with high-quality exterior materials on the building, along with landscaping designed to ensure species resiliency and complimentary style. The building and grounds will be well-maintained.

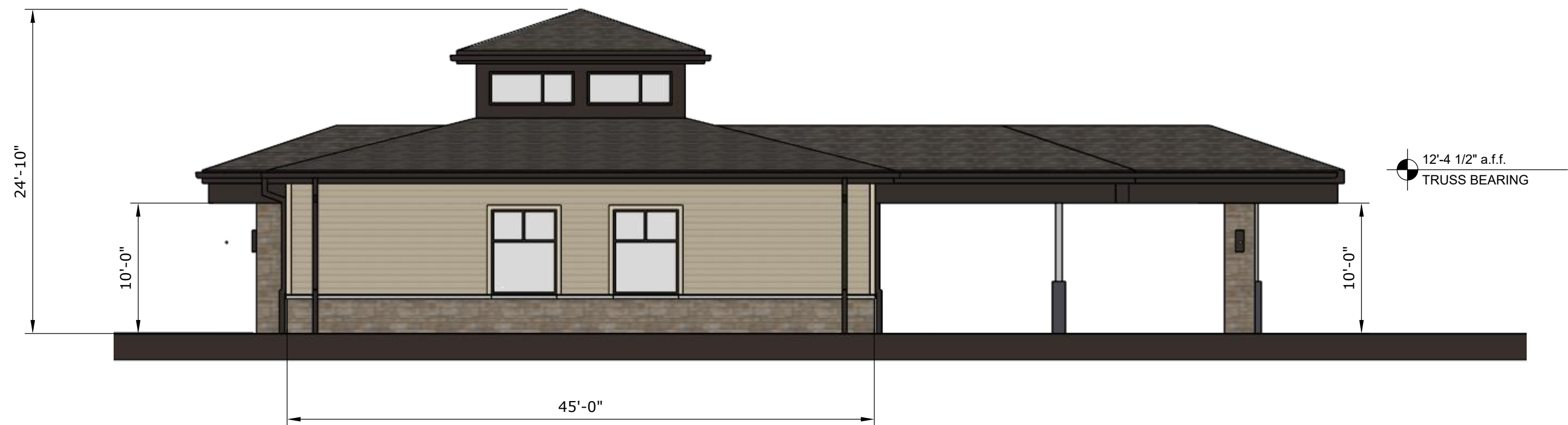




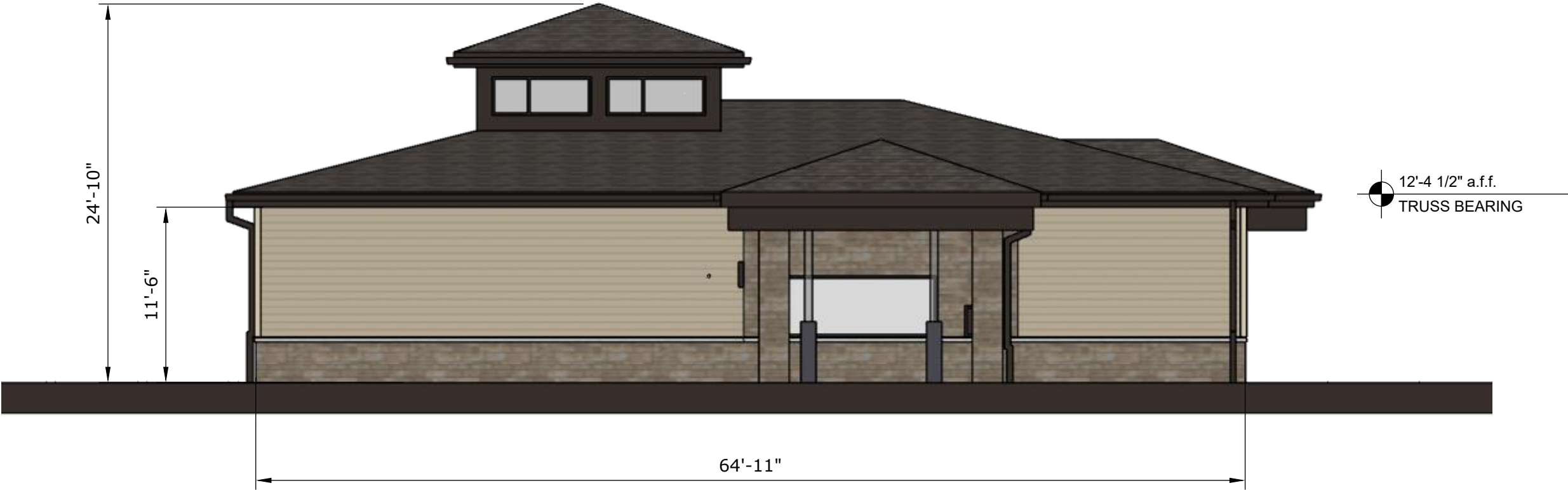
- A. CEMENT BOARD SIDING, BOD = SMOOTH NICKEL GAP PROFILE
- B. DIMENSIONAL ASPHALT SHINGLES
- C. PREFINISHED METAL SOFFIT
- D. 4"METAL FLASHING / 6" METAL COPING
- E. MANUFACTURED STONE VENEER, BOD = ELDORADO, MANZANITA CLIFFSTONE
- F. 8" PRECAST WATER TABLE
- G. DARK BRONZE ANODIZED STOREFRONT (451t KAWNEER) W/ 6227 GUARDIAN GLAZING.
- H. SMOOTH CEMENT BOARD PANEL FASCIA



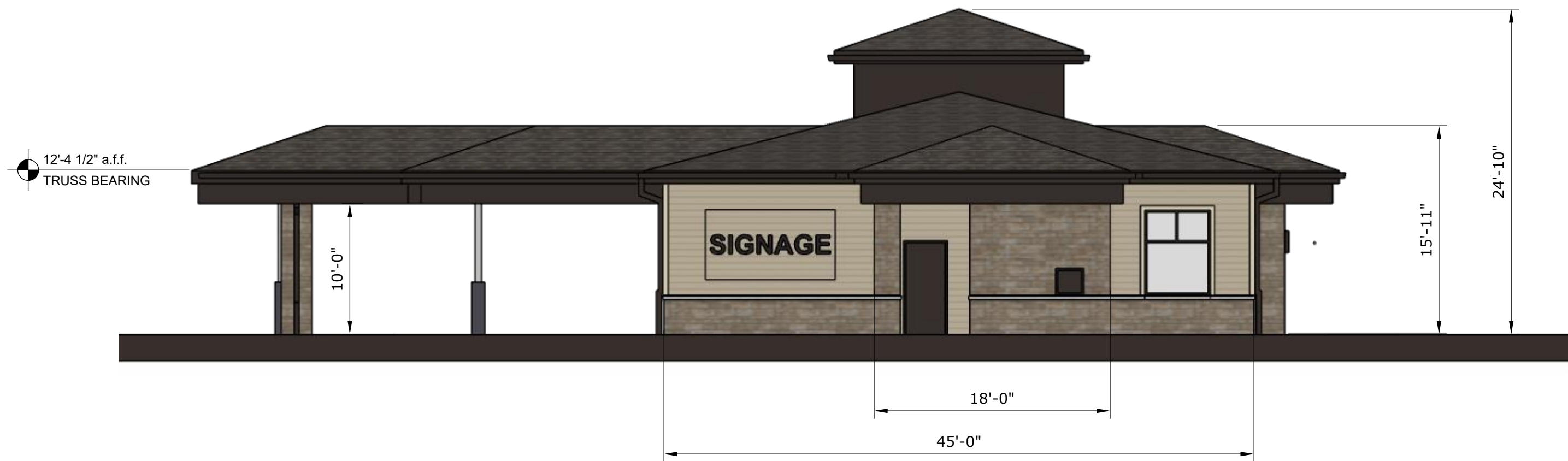
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- B. DIMENSIONAL ASPHALT SHINGLES
- C. PREFINISHED METAL SOFFIT
- D. 4"METAL FLASHING / 6" METAL COPING
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- H. SMOOTH CEMENT BOARD PANEL FASCIA

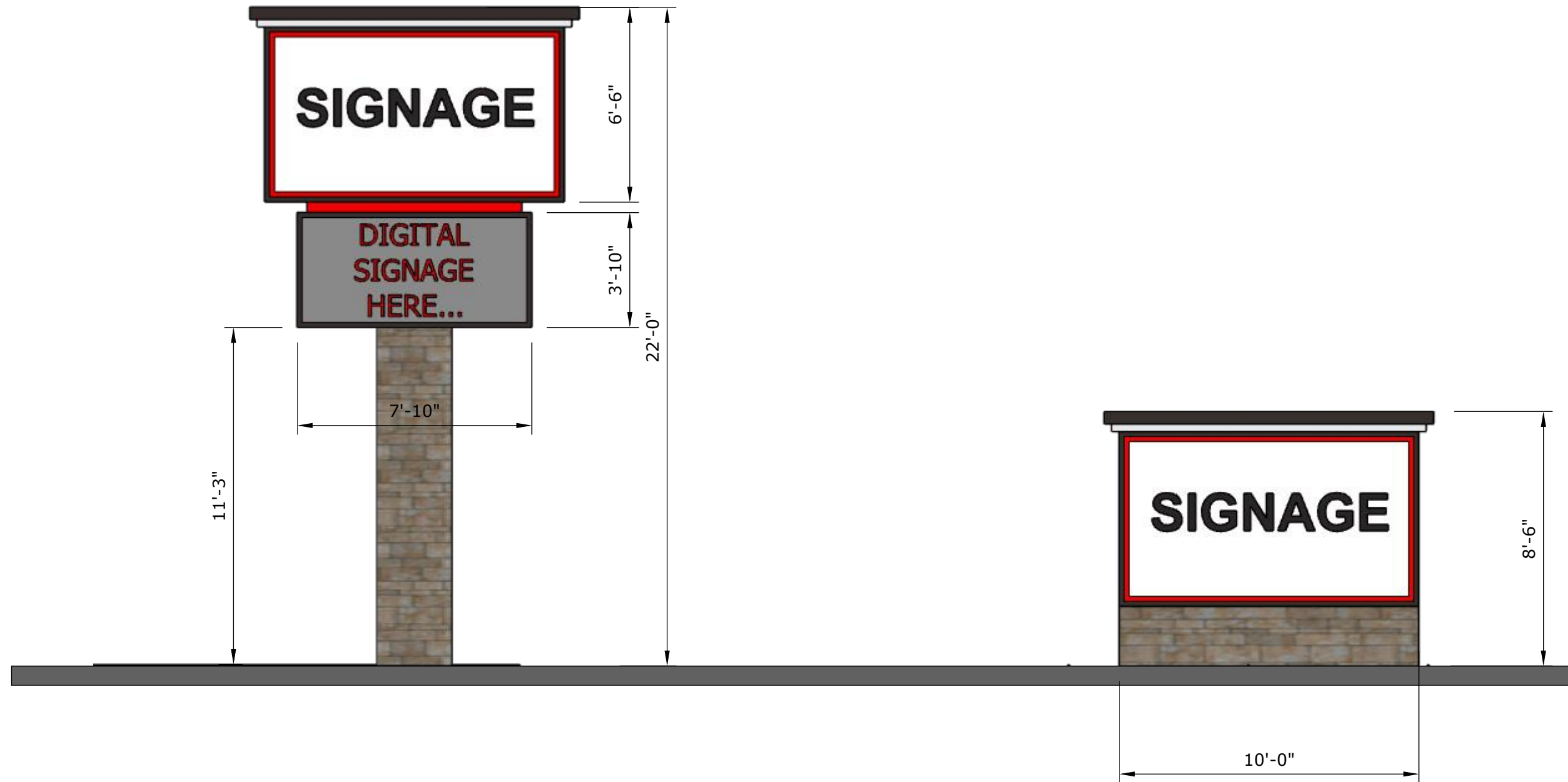


- A. CEMENT BOARD SIDING, BOD = SMOOTH NICKEL GAP PROFILE
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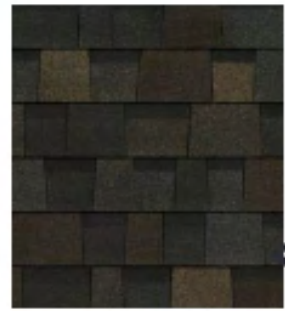
- A. CEMENT BOARD SIDING, BOD = SMOOTH NICKEL GAP PROFILE
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- H. SMOOTH CEMENT BOARD PANEL FASCIA



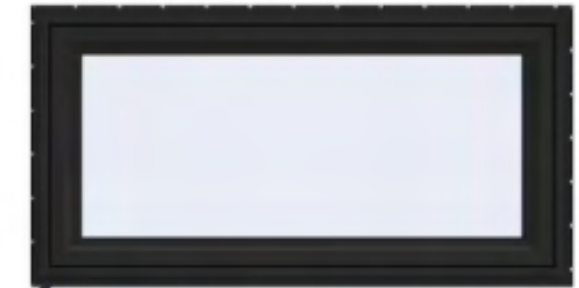




# Building Materials



ASPHALT DIMENSIONAL SHINGLES – BLACK SABLE



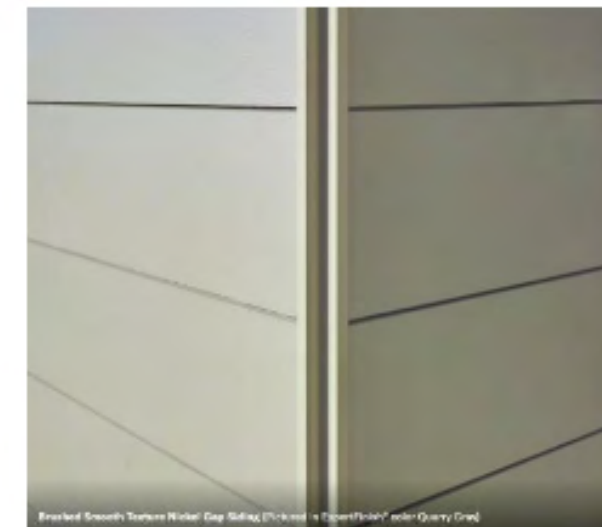
DARK ANODIZED STOREFRONT



PRECAST CAP STONE



MANUFACTURED STONE, 'MANZANITA CLIFFSTONE'



SMOOTH CEMENT BOARD FLAT GAP SIDING





This image produced by LaMacchia Group is a tool used only to communicate general design intent, including building materials, scale, and adjacencies. Normal project design progression, drawing line quality, and drawing scale, can create slight inconsistencies in key components between the building depicted in this rendering and the actual final constructed building.





# FINANCIAL INSTITUTION FOR: LAMACCHIA GROUP

## PLYMOUTH, WISCONSIN

### PROJECT INFORMATION

**SITE INFORMATION:**

PARCEL ID 59271827950 IN SECTION 23, T15N-R21E

PROPERTY AREA: 60,984 S.F. (1.40 ACRES).

EXISTING ZONING: B-1

PROPOSED ZONING: B-1

PROPOSED USE: FINANCIAL INSTITUTION

AREA OF SITE DISTURBANCE: 60,558 S.F.

SETBACKS:

BUILDING: FRONT(S,E) = 30'  
SIDE(DIRECTION) = 10'  
REAR(N,W) = 25'

PAVEMENT: FRONT(S,E) = 30'  
SIDE(DIRECTION) = 10'  
REAR(N,W) = 10'

PROPOSED BUILDING HEIGHT: 24'-10" (MAX. HEIGHT ALLOWED: 60')

PARKING REQUIRED: 1 SPACE PER 200 S.F. (15 SPACES REQ.)

PARKING PROVIDED: 15 SPACES (1 H.C. ACCESSIBLE)

HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1

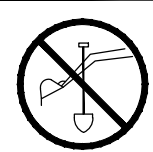
MAXIMUM LOT COVERAGE - BUILDING ONLY: 50%

**EXISTING SITE DATA**

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.00	0	0.0%
TOTAL IMPERVIOUS	0.00	0	0.0%
LANDSCAPE/ OPEN SPACE	1.40	60,984	100.0%
PROJECT SITE	1.40	60,984	100.0%

**PROPOSED SITE DATA**

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.07	2,909	4.8%
PAVEMENT (ASP. & CONC.)	0.63	27,439	45.0%
TOTAL IMPERVIOUS	0.70	30,348	49.8%
LANDSCAPE/ OPEN SPACE	0.70	30,636	50.2%
PROJECT SITE	1.40	60,984	100.0%

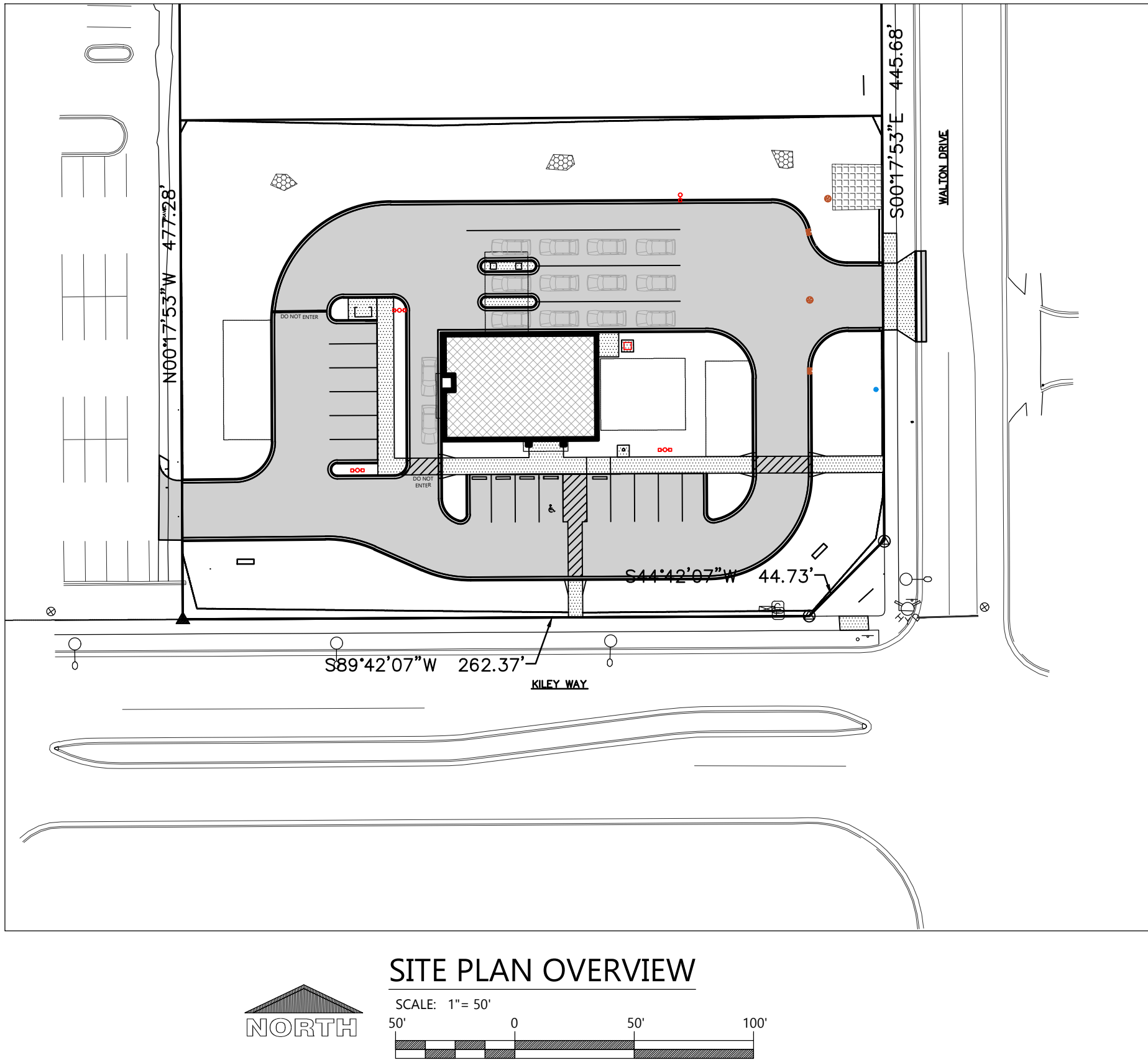


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE  
1-800-242-8511

TOLL FREE TELEFAX (414) 259-0947  
TDD (FOR THE HEARING IMPAIRED)  
1-800 542-2289

WISCONSIN STATUTE 182.0175 (1974)  
REQUIRES MINIMUM OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE



### PROJECT CONTACTS

**OWNER INFORMATION:**

LAMACCHIA GROUP  
RICH SCHNEIDER  
157 N MILWAUKEE ST  
MILWAUKEE, WI 53202  
Phone: (920) 328-7750  
Email: RSCHNEIDER@LAMACCHIAGROUP.COM

**CIVIL:**

REID JAHNS  
Phone: (920)926-9800  
E-mail: REID.J@EXCELENGINEER.COM

**DIRECTOR OF PUBLIC WORKS/CITY ENGINEER:**

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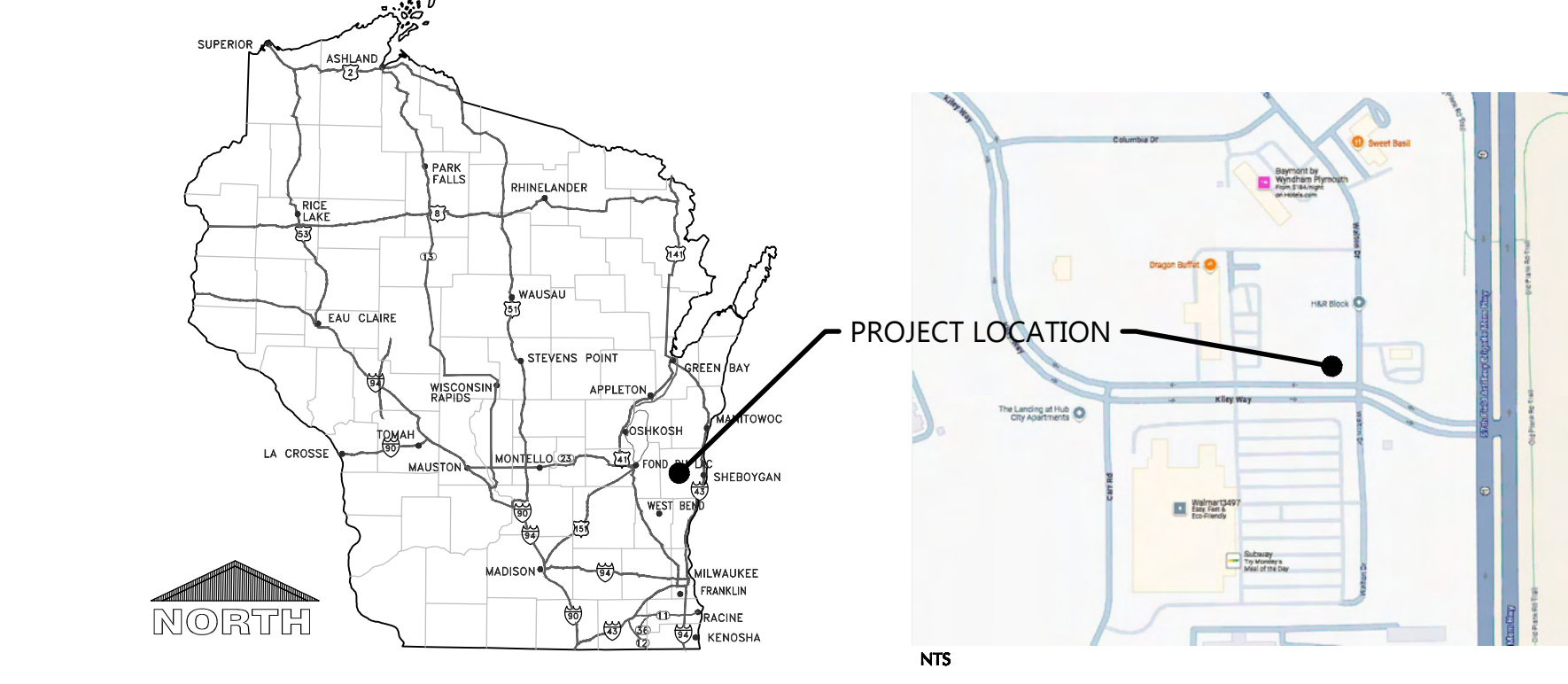
**CITY FIRE CHIEF:**

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**CITY BUILDING INSPECTOR:**

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### LOCATION MAP



### PROJECT NOTES

#### GENERAL PROJECT NOTES

- ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
- CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AS-BUILT SURVEY OF STORMWATER POND FOLLOWING COMPLETION OF THE POND.

#### CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

#### STORMWATER POND ASBUILT NOTE

CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AN AS-BUILT SURVEY FOLLOWING COMPLETION OF THE CONSTRUCTION OF THE STORMWATER POND. THE SURVEY SHALL BE COMPLETED PRIOR TO THE POND FILLING WITH WATER. CONTRACTOR SHALL GIVE EXCEL ENGINEERING A MINIMUM OF A 3 DAY NOTICE. PLEASE NOTE THAT THE HORIZONTAL TOLERANCE FOR POND CONSTRUCTION IS 0.50' AND THE VERTICAL TOLERANCE FOR POND, OUTLET, AND SPILLWAY CONSTRUCTION IS 0.10'. ANY ADDITIONAL WORK REQUIRED TO SURVEY A POND FULL OF WATER OR FOR SURVEYING FOLLOWING REWORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

### SHEET INDEX

SHEETS BELOW INTENDED TO BE PRINTED IN: **COLOR**. REFER TO DIGITAL FORMAT DRAWINGS IF PRINTED GRAYSCALE TO ENSURE SCOPE CLARITY.

NUMBER	SHEET NAME / DESCRIPTION
C0.1	COVER SHEET
C0.2	SPECIFICATIONS
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1	SITE PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C2.1	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS

### LEGEND

NOTE: ALL SYMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS.

SYM.	IDENTIFICATION	SYM.	IDENTIFICATION
<b>SPOT ELEVATIONS</b>			
• [0000.00]	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	• [0000.00] TC [0000.00] FL	PROPOSED SPOT ELEVATIONS (TOP OF CURB, FLOWLINE OF CURB)
• [0000.00] EG	EXISTING GRADE SPOT ELEVATIONS		
• [0000.00] BG [0000.00] FG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL) BG-FINISHED SURFACE GRADE AT BACK OF WALL FG-FINISHED SURFACE GRADE AT FRONT OF WALL	• [0000.00] TW [0000.00] BW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
<b>EXISTING SITE SYMBOLS</b>			
	EXISTING SIGN		EXISTING UTILITY POLE
	EXISTING HANDICAP PARKING STALL		EXISTING UTILITY POLE WITH GUY WIRE
	EXISTING WATER VALVE IN BOX		EXISTING STREET LIGHT
	EXISTING WATER VALVE IN MANHOLE		EXISTING TELEPHONE PEDESTAL
	EXISTING WATER SERVICE VALVE		EXISTING ELECTRIC PEDESTAL
	EXISTING WELL		EXISTING ELECTRIC BOX
	EXISTING STORM CATCH BASIN		EXISTING FLOOD LIGHT
	EXISTING STORM CURB INLET		EXISTING TELEPHONE MANHOLE
	EXISTING SQUARE CATCH BASIN		EXISTING CABLE TV PEDESTAL
	EXISTING LIGHT POLE		EXISTING GAS VALVE
	1-1/4\"/>		EXISTING HEDGE
	3/4\"/>		EXISTING WOODED AREA
	1-1/4\"/>		EXISTING MARSH AREA
	3/4\"/>		EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER
	2\"/>		EXISTING CONIFEROUS TREE
	1\"/>		EXISTING SHRUB
	SECTION CORNER		EXISTING STUMP
<b>PROPOSED SITE SYMBOLS</b>			
	PROPOSED SIGN		PROPOSED STORM FIELD INLET - ST FI
	PROPOSED HANDICAP PARKING STALL		PROPOSED LIGHT POLE
	PROPOSED WATER VALVE IN BOX		PROPOSED DRAINAGE FLOW
	PROPOSED WATER VALVE IN MANHOLE		PROPOSED APRON END SECTION
	PROPOSED WATER SERVICE VALVE		SOIL BORING
	PROPOSED WELL		CENTER LINE
	PROPOSED STORM CATCH BASIN - ST CB		PROPOSED CLEANOUT
	PROPOSED STORM CURB INLET - ST CI		PROPOSED DOWNSPOUT TO GRADE
			PROPOSED DOWNSPOUT TO RISER
<b>EXISTING LINETYPES</b>			
	EXISTING CHAINLINK FENCE		EXISTING POLISH SEWER AND MANHOLE
	EXISTING WOOD FENCE		EXISTING PROCESS SEWER AND MANHOLE
	EXISTING BARBED WIRE FENCE		EXISTING CLEAR WATER LINE
	EXISTING CURB AND GUTTER		EXISTING UNDERGROUND FIBER OPTIC LINE
	EXISTING GUARD RAIL		EXISTING UNDERGROUND ELECTRIC CABLE
	EXISTING GROUND CONTOUR		EXISTING UNDERGROUND TELEPHONE CABLE
	EXISTING STORM SEWER AND MANHOLE		EXISTING UNDERGROUND GAS LINE
	EXISTING SANITARY SEWER AND MANHOLE		EXISTING OVERHEAD UTILITY LINE
	EXISTING WATER LINE AND HYDRANT		RAILROAD TRACKS
	INTERIOR PROPERTY LINE		RIGHT-OF-WAY LINE
<b>PROPOSED LINETYPES</b>			
	PROPOSED CHAINLINK FENCE		PROPOSED POLISH SEWER AND MANHOLE
	PROPOSED WOOD FENCE		PROPOSED PROCESS SEWER AND MANHOLE
	PROPOSED BARBED WIRE FENCE		PROPOSED CLEAR WATER LINE
	PROPOSED CURB AND GUTTER		PROPOSED UNDERGROUND FIBER OPTIC LINE
	PROPOSED GUARD RAIL		PROPOSED UNDERGROUND ELECTRIC CABLE
	PROPOSED GROUND CONTOUR		PROPOSED UNDERGROUND TELEPHONE CABLE
	PROPOSED STORM SEWER AND MANHOLE - ST MH		PROPOSED UNDERGROUND GAS LINE
	PROPOSED SANITARY SEWER AND MANHOLE - SAN MH		PROPOSED OVERHEAD UTILITY LINE
	PROPOSED WATER LINE AND HYDRANT		MATCHLINE
	PROPOSED PROPERTY LINE		GRADING/SEEDING LIMITS

CIVIL COVER SHEET



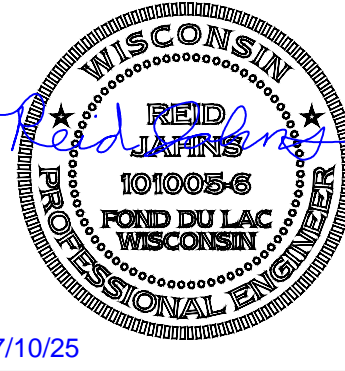
Always a Better Plan

100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

#### PROJECT INFORMATION

FINANCIAL INSTITUTION FOR:  
**LAMACCHIA GROUP**  
KILEY WAY • PLYMOUTH, WI 53073

PROFESSIONAL SEAL



07/10/25

#### PRELIMINARY DATES

JULY 3, 2025  
JULY 10, 2025

#### JOB NUMBER

250160700

#### SHEET NUMBER

C0.1

NOT FOR CONSTRUCTION



# CIVIL SPECIFICATIONS



**Excel**

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100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
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## DIVISION 31 EARTH WORK

### 31 10 00 SITE CLEARING (DEMOLITION)

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. CONTRACTOR TO FIELD TELETYPE ALL EXISTING SANITARY LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE AT TIME OF DEMOLITION. THE TELETYPE SHALL BE COMPLETED TO ENSURE THE EXISTING LATERALS ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELETYPE OF THESE LATERALS SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELETYPE.
- C. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
- D. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- E. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

### 31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
- C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDEN AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION. AS RECOMMENDED DRY DENSITY. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.
- E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY WAGON EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- F. CONTRACTOR SHALL TEST SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 1557: 1. FILL MATERIAL TO BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.
1. UNDER FOUNDATIONS - SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 98 PERCENT.
2. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB. PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
3. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE. PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
4. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
5. UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
6. UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 85 PERCENT.
- G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROOF-ROLLING TO ENGINEER UPON COMPLETION. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. THE GEOTECHNICAL REPORT WAS PERFORMED BY PROFESSIONAL SERVICE INDUSTRIES, INC.
- H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB. ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 500 LINEAR FEET OF WALL STRIP FOOTING.
- I. WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- J. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10" OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

### 31 30 00 EROSION CONTROL/STORMWATER MANAGEMENT

- A. THE EXCEL ENGINEERING DESIGN ENGINEER SHALL PREPARE A SITE SPECIFIC EROSION CONTROL AND A STORMWATER MANAGEMENT PLAN PURSUANT TO NR 216.46 AND NR 216.47. THE DESIGN ENGINEER SHALL ALSO FILE A CONSTRUCTION NOTICE OF INTENT WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES PURSUANT TO NR 216.48 OR TO AN AUTHORIZED LOCAL PROGRAM PURSUANT TO NR 216.415 TO OBTAIN COVERAGE UNDER THE GENERAL WPDES STORM WATER PERMIT.
- B. THE CONTRACTOR SHALL KEEP THE NOTICE OF INTENT PERMIT, APPROVED EROSION CONTROL AND STORMWATER MANAGEMENT PLANS, AND PLAN AMENDMENTS ON THE CONSTRUCTION SITE AT ALL TIMES PURSUANT TO NR 216.455 UNTIL PERMIT COVERAGE IS TERMINATED.
- C. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE MONITORING, MAINTENANCE, AND REPORTING REQUIREMENTS OF NR 216.48. INSPECTIONS OF IMPLEMENTED EROSION CONTROL AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST AT A MINIMUM BE INSPECTED EVERY 7 CALENDAR DAYS OR EVERY 14 DAYS AND WITHIN 24 HOURS OF THE END OF A RAIN EVENT OF 0.5" OR MORE. A RAIN EVENT MAY BE CONSIDERED TO BE THE TOTAL AMOUNT OF PRECIPITATION RECORDED IN ANY CONTINUOUS 24 HOUR PERIOD. THE CONTRACTOR SHALL REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR AFTER A DEPARTMENT NOTIFICATION WHERE REPAIR OR REPLACEMENT IS REQUESTED.
- E. THE CONTRACTOR SHALL MAINTAIN AT THE CONSTRUCTION SITE OR AVAILABLE VIA AN INTERNET WEBSITE, WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS CONDUCTED. WISCONSIN DNR CONSTRUCTION SITE INSPECTION REPORT FORM 3400-187 SHALL BE USED. WEEKLY INSPECTION REPORTS SHALL INCLUDE ALL OF THE FOLLOWING:
1. THE DATE, TIME, AND LOCATION OF THE CONSTRUCTION SITE INSPECTION.
2. THE NAME OF THE INDIVIDUAL WHO PERFORMED THE INSPECTION.
3. AN ASSESSMENT OF THE CONDITION OF THE EROSION AND SEDIMENT CONTROL.
4. A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED.
5. A DESCRIPTION OF THE PRESENT PHASE OF LAND DISTURBING CONSTRUCTION ACTIVITY AT THE CONSTRUCTION SITE.
- F. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (WIS. AC) NR 151. THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS, TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDANT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED:
1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION).

2. DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1062 (CURRENT EDITION).
3. STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATION. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 1/2" INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WIDIOSITY TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12" MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION).
4. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION).
5. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION).
6. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
7. CONTRACTOR SHALL PROVIDE AN OPEN DRAINAGE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
8. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS LISTS IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
9. IF SITE Dewatering IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT AND WATER GENERATED DURING THE Dewatering PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061.
10. ALL OFF-SITE SEDIMENT DEPOSIT OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WI DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FLUSHING SHALL NOT BE ALLOWED.
- G. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREAS(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.
- H. ONCE THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED AND TEMPORARY EROSION CONTROL BEST MANAGEMENT PRACTICES HAVE BEEN REMOVED, THE CONTRACTOR SHALL FILE A CONSTRUCTION NOTICE OF TERMINATION WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES IN ACCORDANCE WITH NR 216.55.
- I. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER COPIES OF THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS, AMENDMENTS, PLANS, SUPPORTING PLAN DATA, AND CONSTRUCTION SITE EROSION CONTROL INSPECTION REPORTS. THE OWNER SHALL RETAIN THESE FOR A PERIOD OF 3 YEARS FROM THE DATE OF TERMINATING COVERAGE UNDER WPDES.
- J. ALL POST CONSTRUCTION STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICES SHALL BE CONSTRUCTED BEFORE THE SITE HAS UNDERGONE FINAL STABILIZATION.

## DIVISION 32 EXTERIOR IMPROVEMENTS

### 32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

- A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR TO OBTAIN AND REVIEW SOILS REPORT FOR RECOMMENDATIONS FOR GEO-GRID/ GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS INDICATED BELOW.
- STANDARD ASPHALT PAVING SECTION
- 1-1/2" SURFACE COURSE (S LT 58-285)  
(WISDOT 455.2.5 TACK COAT (STAGED PAVING)  
2" BINDER COURSE (4 LT 58-285)  
10" 1/4" CRUSHED AGGREGATE
- B. CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.05" OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEINGS MAINTAINED IN ACCORDANCE WITH DESIGN PLANS.
- C. HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS.
- D. CONTRACTOR TO PROVIDE 4" WIDE WHITE PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. WHITE PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

### 32 20 00 CONCRETE AND AGGREGATE BASE

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.
- B. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- C. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 308R-08 & ACI 318-08.
- D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS/AS FOLLOWS:
1. SIDEWALK CONCRETE - 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONSTRUCTION JOINTS SHALL CONSIST OF 1/8" WIDE BY 1" DEEP TPOOL JOINT WHERE INDICATED ON THE PLANS.
2. DRIVEWAY AND/OR PORCH CONCRETE - 8" OF CONCRETE OVER 6" OF AGGREGATE BASE.
- a. CONCRETE SHALL BE STEEL REINFORCED WITH THE FOLLOWING AND PLACED IN THE UPPER 1/3 TO 1/2 OF THE SLAB:
- 1) THE BARS AT ALL CONSTRUCTION JOINTS OF THE CONCRETE. THE BARS SHALL BE #4 REBAR 30" LONG PLACED AT 30" O.C.
- b. DUMPSITER PAD CONCRETE JOINTING SHALL BE AS FOLLOWS:
- 1) CONTRACTION SAWCUT JOINT - CONTRACTOR SHALL PROVIDE A SAWCUT JOINT AT MAXIMUM SPACING OF 15' ON CENTER. SAWCUT SHALL BE 2" IN DEPTH.
- 2) TYPICAL POUR CONTROL JOINT - POUR CONTROL JOINT SHALL BE PROVIDED WITH 1-1/4" DIAMETER BY 20" LONG SMOOTH DOWEL PLACED AT 12" O.C. ONE HALF OF THE DOWEL SHALL BE GRADED. GREENSTEEL 9" SPEED DOWEL TUBES SHALL BE USED.
3. HEAVY DUTY CONCRETE TRUCK TRAFFIC - 8" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE. CONCRETE SHALL BE REINFORCED WITH #3 REBAR. CHAIRS AT 3' O.C. REBAR SHALL BE PLACED PLACED IN THE UPPER 1/3 TO 1/2 OF THE SLAB. CONSTRUCTION

JOINTS SHALL BE SAWCUT 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 15' ON CENTER.

- E. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94
1. STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
2. MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45.
3. SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK
4. SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER
5. SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLIP-FORMED CURB AND GUTTER.
6. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED.
7. MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.
8. VERIFY EQUIPMENT CONCRETE PAD SIZES WITH CONTRACTOR REQUIREING PAD. PADS SHALL HAVE FIBERMesh 300 FIBERS AT A RATE OF 1.5 LBS/CU. YD. OR 6 X 6-W/4 X W/4 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 5.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. CONCRETE SHALL BE PROVIDED ON 6" OF 3/4" CRUSHED AGGREGATE BASE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR.
- G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05" OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
- H. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6" MIN). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB, JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE PROTECTED FROM BUILDING TRUCKS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.

- I. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 1" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" FOR UP TO #5 BARS AND 2" FOR #6 TO #10 BARS IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 48 DIAMETERS FOR UP TO #6 BARS, 62 DIAMETERS FOR #7 TO #9 BARS, 68 DIAMETERS FOR #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACT MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 1064. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.

- J. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TESTS REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD. BUT LESS THAN 15 CU. YD. PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF. PERFORM COMPRESSIVE-STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING AS PLACED ON SITE. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.

- K. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FINING, BUT BEFORE POWER FLOATING AND TROWELLING.
- L. LIMIT MAXIMUM WATER-CEMENTITIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DECING SALTS TO 0.45.

- M. TEST RESULTS WILL BE PROVIDED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH ON SITE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.

### 32 30 00 LANDSCAPING AND SITE STABILIZATION

- A. TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS, OTHER THAN LANDSCAPE ISLANDS, WHICH SHALL BE PROVIDED WITH A MINIMUM OF 10" OF TOPSOIL. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPE FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF AZTRADINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.0. CONTAIN A MINIMUM OF 5% PERCENT ORGANIC MATERIAL. CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.
- B. SITE INSTALLATION: LOOSESUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY ROCKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- B. SEED LAWNS
1. PERMANENT LAWN AREAS SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEN (2.0-2.6 LBS/1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.8 LBS/1,000 S.F.), 15% FINE FESCUE (0.4-0.6 LBS/1,000 S.F.). STRAW AND MULCH SHALL BE LAID AT 100LBS/1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ONSITE. FOLLOW PROCEDURES FOUND IN WDMR TECHNICAL STANDARDS 1058 & 1059.
2. ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.60 LBS/1,000 S.F.), 30% CREEPING RED FESCUE (0.50 LBS/1,000 S.F.), AND 15% PERENNIAL RYEGRASS (0.20 LBS/1,000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOR PERMANENT LAWN TECHNICAL STANDARDS 1058 & 1059.
3. ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RYEGRASS AT 1.9 LBS/1,000 S.F. STRAW AND MULCH SHALL BE LAID AT 100 LBS/1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDMR TECHNICAL STANDARDS 1058 & 1059.
- C. SEEDED LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, ALL WEEDS, RUBBISH, AND STONES AS WELL AS STORMWATER ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5"X5". CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.
- D. EROSION MATTING:
1. CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN C120) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND GREATER OUTSIDE OF STORMWATER CONVEYANCE SWALES AND STORMWATER MANAGEMENT BASINS. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.
2. CONTRACTOR TO PROVIDE EROSION MATTING (NORTH AMERICAN GREEN C120) OR EQUIVALENT IN ALL SWALE BOTTOMS AND SIDE SLOPES AS WELL AS STORMWATER MANAGEMENT BASIN BOTTOMS AND SIDE SLOPES AS REQUIRED. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND

- MANUFACTURER SPECIFICATIONS.
- E. INFILTRATION BASIN SEEDING: BOTTOM AND SIDE SLOPES OF INFILTRATION BASINS SHALL BE SEEDDED WITH A WET PRAIRIE MIX. SEEDING SPECIFICATIONS BY LEAST SUPPLIER.
- F. STORMWATER MANAGEMENT POND SAFETY SHELF SEEDING: SAFETY SHELF SHALL BE SEEDDED WITH A WET PRAIRIE EMERGENT PLANT MIX.
- G. RIP RAP: ALL RIP RAP ASSOCIATED WITH STORMWATER MANAGEMENT AND STORMWATER CONVEYANCE, AS DELINEATED ON THE PLANS, SHALL BE CONSTRUCTED WITH THE TOP OF RIP RAP MATCHING THE PROPOSED ADJACENT GRADE ELEVATIONS. PLACEMENT OF RIP RAP ABOVE THE PROPOSED ADJACENT GRADE ELEVATIONS IS NOT ACCEPTABLE. ALL RIP RAP SHALL BE PLACED ON TYPE HR FILTER FABRIC PER SECTION 645 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURAL CONSTRUCTION.
- H. TREES AND SHRUBS: FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE TYPE, SIZE, AND LOCATION.
- I. TREE AND SHRUB INSTALLATION: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF PIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMP TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED.
- J. TREE AND SHRUB MAINTENANCE/WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS.
- K. MINERAL MULCH: PROVIDE 3" MINIMUM THICK BLANKET OF 1.5" MINIMUM TO 2.5" MAXIMUM CRUSHED DECORATIVE STONE AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.

## DIVISION 33 UTILITIES

### 33 10 00 SITE UTILITIES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- B. CONTRACTOR TO FIELD TELETYPE ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE. THE TELETYPE SHALL BE COMPLETED TO ENSURE THE EXISTING LATERALS) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELETYPE OF THESE LATERALS SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELETYPE.
- C. ALL SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. ALL SANITARY PIPE BELOW PROPOSED & FUTURE BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL INSULATION SHALL BE PROVIDED PER STATE PLUMBING CODES AS NECESSARY BASED ON PROPOSED DEPTH OF INSTALLATION.
- D. SANITARY AND PROCESS MANHOLES SHALL BE 48" PRECAST AND CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN-CURRENT EDITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER. PROCESS MANHOLES SHALL BE LINED W/ GSE STUDLINER LINING. SANITARY & PROCESS MANHOLE FRAME AND GRATE TO BE MANHOLE 1-R150-A OR EQUAL. RIM ELEVATION TO BE SET AT FINISHED GRADE IN DEVELOPED AREAS AND 12" ABOVE FINISHED GRADE IN UNDEVELOPED AREAS EXCEPT AS OTHERWISE DIRECTED BY THE ENGINEER.
- E. CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY & STORM SERVICES AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY/STORM SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A 4" (OR 6") VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A 2URN (2-1/4" N) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURERS REQUIREMENTS.
- F. ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. 6" MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED.
- G. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. ALL PROPOSED STORM PIPE BELOW BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 8" HORIZONTALLY FROM FOUNDATION WALLS.
- H. SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10" OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.
- I. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION AND UP 6" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT FOR ALL DOWNSPOUT TO RISER (DSR) CONNECTIONS. DOWNSPOUTS TO GRADE (DSG) SHALL BE PROVIDED WITH SPLASH BLOCKS AT THE DISCHARGE LOCATION. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/CGC PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT UNDERMINE BUILDING FOUNDATIONS. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION.
- J. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. TRACER WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL/STATE REQUIREMENTS.
- K. UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SERVICE SHALL BE INSTALLED PER STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE EXCEL ENGINEERING DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL (IF REQUIRED). THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.
- L. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.

Table A: Allowable Pipe Material Schedule

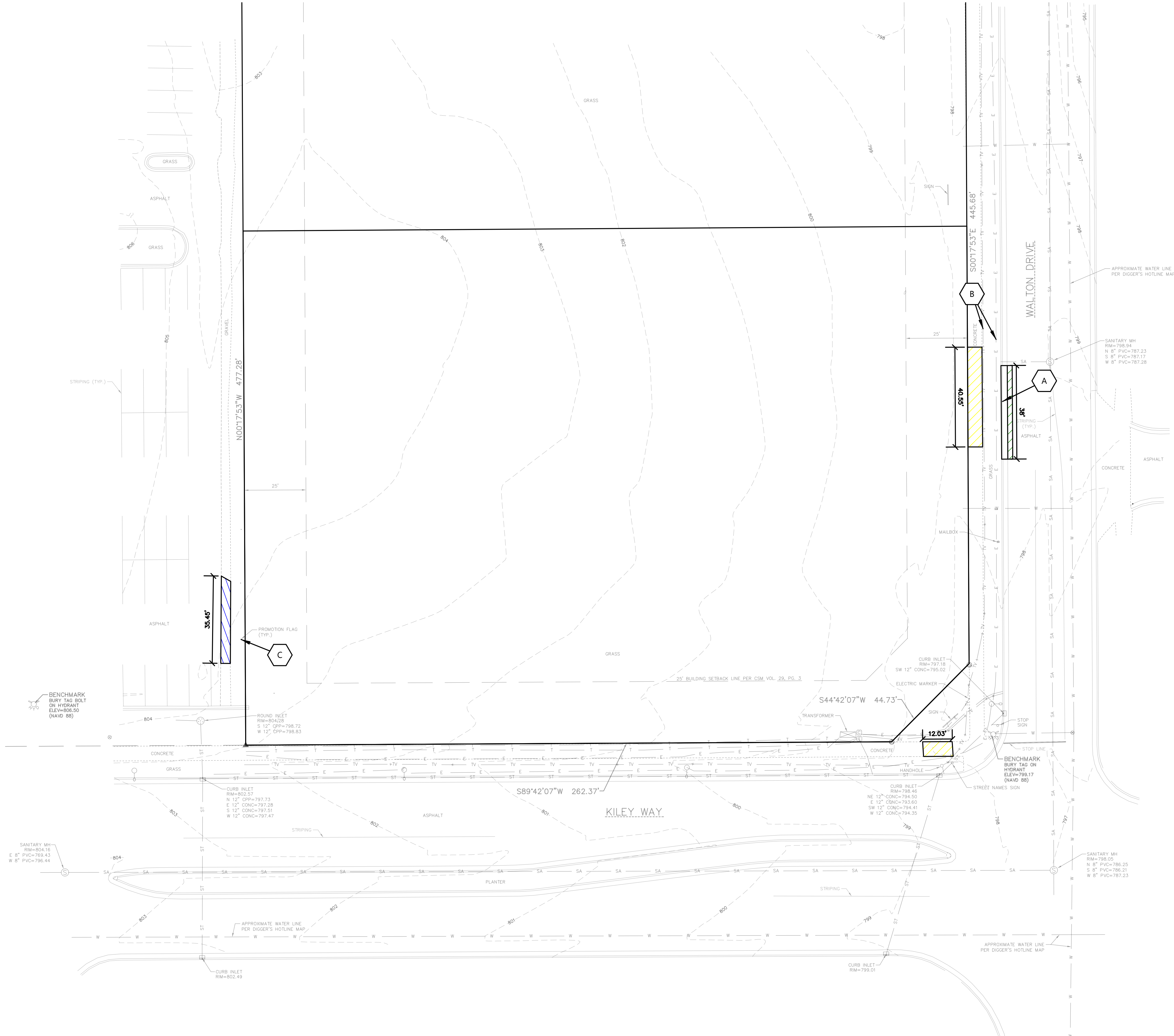
Utility	Material	Pipe Code	Fitting Code	Joint Code
Combined Domestic/Fire Service	C900 PVC	AWWA C900, ASTM D1785, ASTM D2241	AWWA C110, AWWA C153, ASTM D2464, ASTM D2466, ASTM D2467, 5 Spigot	Joint: ASTM D3139 Integral Bell
			ASTM F408, ASTM F1336, ASTM F1866	Elastomeric Seal: ASTM F477
Sanitary Sewer	SDR 35 PVC	ASTM D1785, ASTM D2665, ASTM D3034, ASTM F891	ASTM F1336	Push On: ASTM D3212 for Tightness Elastomeric Gasket: ASTM F477
Storm Sewer	HDPE	ASTM F2648, ASTM F2306, AASHTO M252, TYPE S (4 IN - 10 IN)	ASTM F2648, ASTM F2306, AASHTO M252, or AASHTO M294	Joint: ASTM F2648, ASTM F2306, AASHTO M252, or AASHTO M294 Elastomeric Seal: ASTM F477
		ASTM F667	ASTM F667	ASTM D1056 Grade 2A2 Gasketed

## PROJECT INFORMATION

### MATERIAL / INFORMATION

1. 31 10.00 - TELETYPE REPORTS OF EXISTING LATERALS
- STORM
<





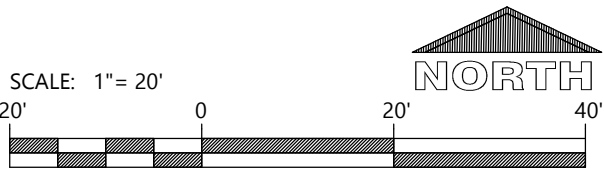
**LEGEND:**

- REMOVE GRAVEL, CONTRACTOR AND OWNER TO COORDINATE WITH ADJACENT PROPERTY OWNER.
- SAWCUT AND REMOVE CONCRETE
- REMOVE ASPHALT PAVEMENT & BASE

KEYNOTES	
	REMOVE PORTION OF CURB. SAWCUT (AS NECESSARY)
	PROTECT UTILITY LINE
	REMOVE PROMOTION FLAGS, CONTRACTOR TO COORDINATE WITH ADJACENT PROPERTY OWNER.

**SURFACE NOTE:**

SURFACE INDICATIONS OF UTILITIES ALONG WITH J.U.L.I.E. MARKINGS PER DIG NO: A230611185 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA. PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES CRITICAL TO CONSTRUCTION.



CIVIL EXISTING SITE AND DEMOLITION PLAN

Always a Better Plan

100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

PROJECT INFORMATION

FINANCIAL INSTITUTION FOR:  
**LAMACCHIA GROUP**  
KILEY WAY • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

PRELIMINARY DATES

JULY 3, 2025  
JULY 10, 2025

NOT FOR CONSTRUCTION

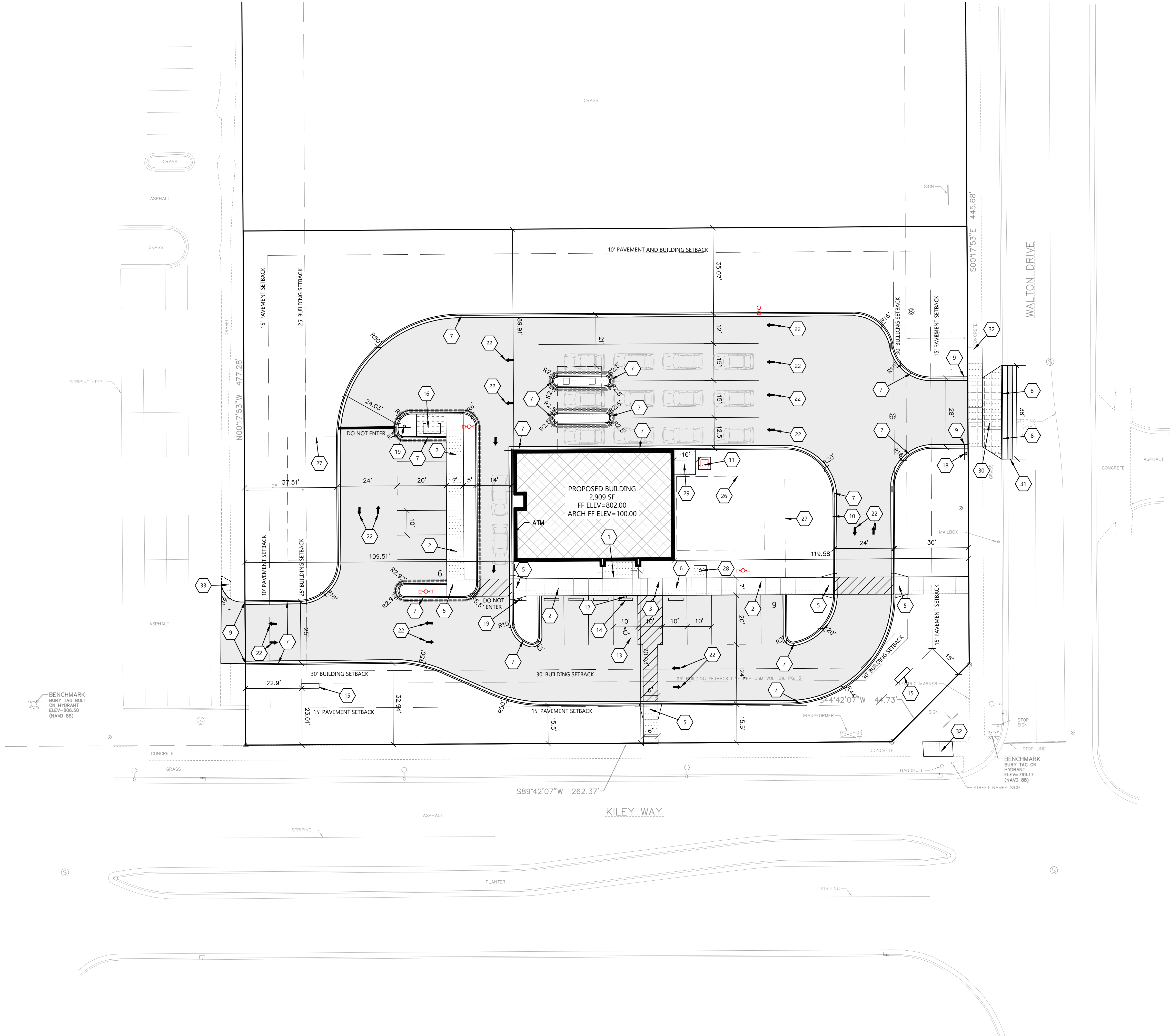
JOB NUMBER

250160700

SHEET NUMBER

C1.0





LEGEND:

HATCH	PAVEMENT SECTION	HATCH	PAVEMENT SECTION
	STANDARD ASPHALT		HEAVY DUTY CONCRETE
	SIDEWALK CONCRETE		DUMPSTER PAD / APRON CONCRETE
	INVERTED CURB & GUTTER		SHEDDING CURB & GUTTER

KEYNOTES

1	CONCRETE STOOP (SEE STRUCTURAL PLANS FOR DETAILS)
2	RAISED WALK (SEE DETAIL)
3	FLUSH WALK (SEE DETAIL)
5	CURB RAMP (SEE DETAIL)
6	TRANSITION FROM FLUSH WALK TO RAISED WALK IN (SEE DETAIL)
7	18" CURB & GUTTER (SEE DETAIL)
8	18" MOUNTABLE CURB & GUTTER PER CITY STANDARDS
9	CURB TAPER (SEE DETAIL)
10	CURB CUT (SEE DETAIL)
11	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
12	HANDICAP SIGN PER STATE CODE (SEE DETAIL)
13	HANDICAP STALL & STRIPING PER STATE CODES
14	PRECAST CONCRETE WHEEL STOP (TYP.)
15	MONUMENT SIGN (DETAILS, FINAL LOCATION, & APPROVAL BY SIGN VENDOR)
16	DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
17	6" CONCRETE BOLLARDS (TYP.) (SEE ARCH PLANS FOR DETAILS)
18	STOP SIGN PER MUTCD.
19	DO NOT ENTER SIGN (TYP.)
22	TRAFFIC FLOW ARROWS (TYP.). COLOR TO MATCH PARKING STALL STRIPING
26	FUTURE BUILDING
27	FUTURE PARKING
28	FLAGPOLE (TYP.)
29	UTILITY PAD. PAD DESIGN & SIZE PER MANUFACTURER SPECIFICATIONS
30	CONCRETE DRIVE APRON PER CITY STANDARDS.
31	2' OF ASPHALT PER CITY STANDARDS.
32	CONCRETE SIDEWALK PER CITY STANDARDS.
33	GRAVEL. CONTRACTOR TO FIELD VERIFY AND MATCH EXISTING GRAVEL SECTION DEPTH.



CIVIL SITE PLAN

**EXCEL**

Always a Better Plan

100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

PROJECT INFORMATION

FINANCIAL INSTITUTION FOR:  
**LAMACCHIA GROUP**  
KILEY WAY • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

PRELIMINARY DATES

JUNE 25, 2025  
JUNE 30, 2025  
JULY 3, 2025  
JULY 10, 2025

NOT FOR CONSTRUCTION

JOB NUMBER

250160700

SHEET NUMBER

C1.1



PROJECT INFORMATION

FINANCIAL INSTITUTION FOR:  
**LAMACCHIA GROUP**  
KILEY WAY • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

PRELIMINARY DATES

JUNE 30, 2025  
JULY 3, 2025  
JULY 10, 2025

JOB NUMBER

250160700

SHEET NUMBER

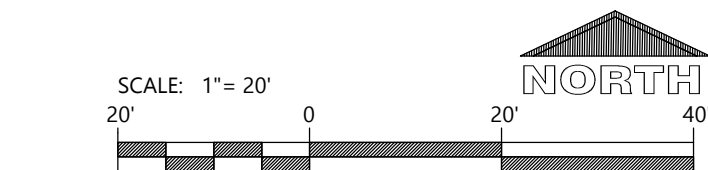
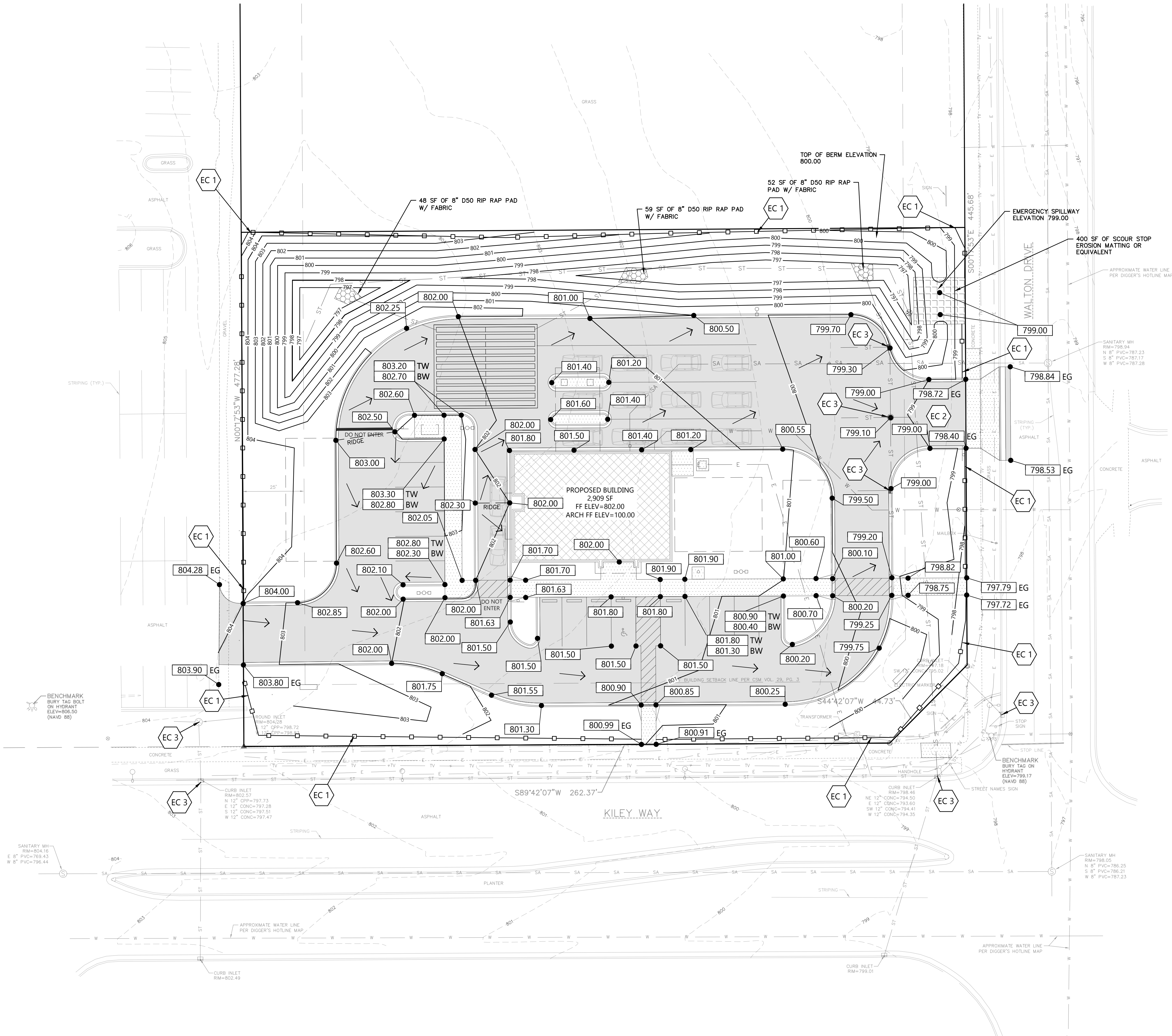
**C1.2**

GENERAL NOTES:

- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION).
- ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.
- CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

KEYNOTES

EC 1	SILT FENCE
EC 2	STABILIZED CONSTRUCTION ENTRANCE
EC 3	INLET PROTECTION



CIVIL GRADING AND EROSION CONTROL PLAN







PLANT SCHEDULE					
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	PLANTED SIZE	ROOT
SHADE TREES					
	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	2	1 1/2" CAL.	B&B
DECIDUOUS SHRUBS					
	Bobo Hydrangea	Hydrangea paniculata 'ILVOBO'	6	18" HT.	CONT.
	Goldflame Spirea	Spiraea x bumalda 'Goldflame'	14	18" HT.	CONT.
EVERGREEN SHRUBS					
	Green Velvet Boxwood	Buxus 'Green Velvet'	4	18" HT.	CONT.
ORNAMENTAL GRASSES					
	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	12	1 GAL.	CONT.
PERENNIALS					
	Rosy Returns Daylily	Hemerocallis 'Rosy Returns'	21	1 GAL.	CONT.

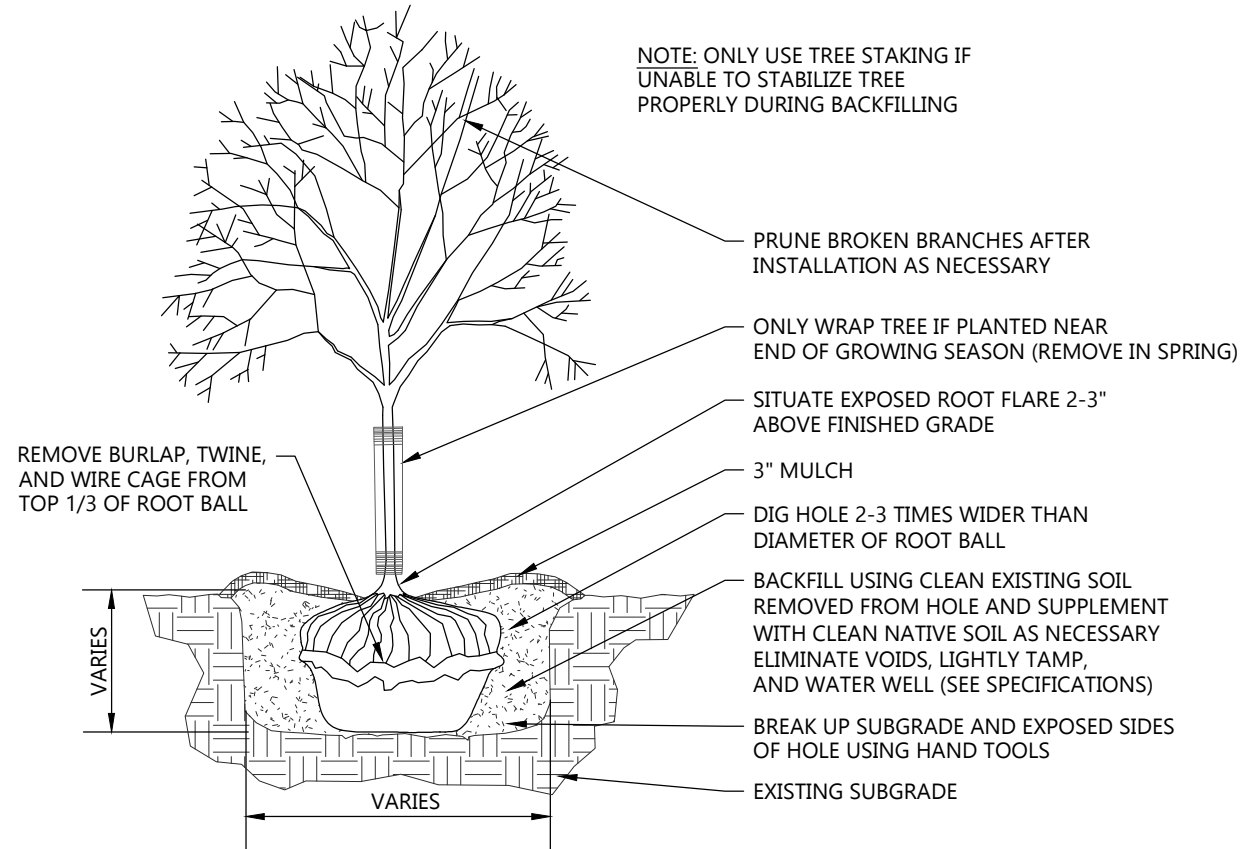
LANDSCAPING CALCULATIONS		
ZONE	REQ. PLANTS	PLANTS PROVIDED
PARKING	LANDSCAPED AREAS SHALL BE PROVIDED WHICH EQUAL AT LEAST 10% OF SURFACE DRIVE AND PARKING AREAS 24,876 SF x .10 = 2,487.6 SF	27,836 SF OF LAWN / 1,113 SF OF MULCHED AREA

#### GENERAL NOTES:

- ALL DISTURBED BARE SOIL OUTSIDE OF MINERAL MULCH AREAS TO BE SEEDED.
- SEE SHEET C.02 FOR ALL LANDSCAPE SPECIFICATIONS.

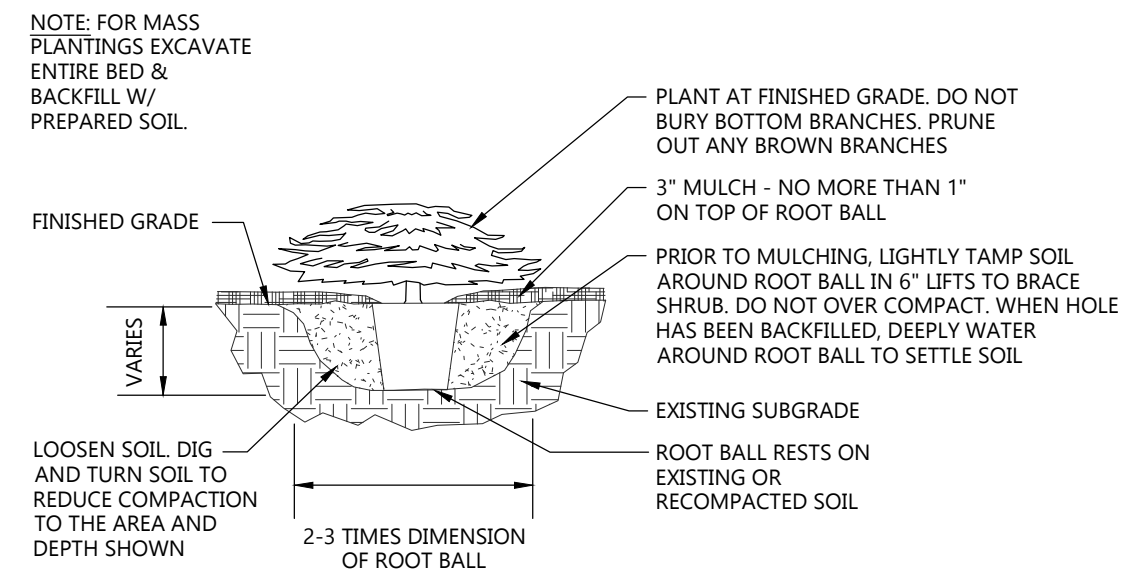
#### HATCH KEY:

HATCH	LANDSCAPE MATERIAL
	MINERAL MULCH
	SEEDED LAWN
	EROSION MATTING (NAG C125) OVER SEEDED LAWN (SWALE BOTTOMS & SWM)



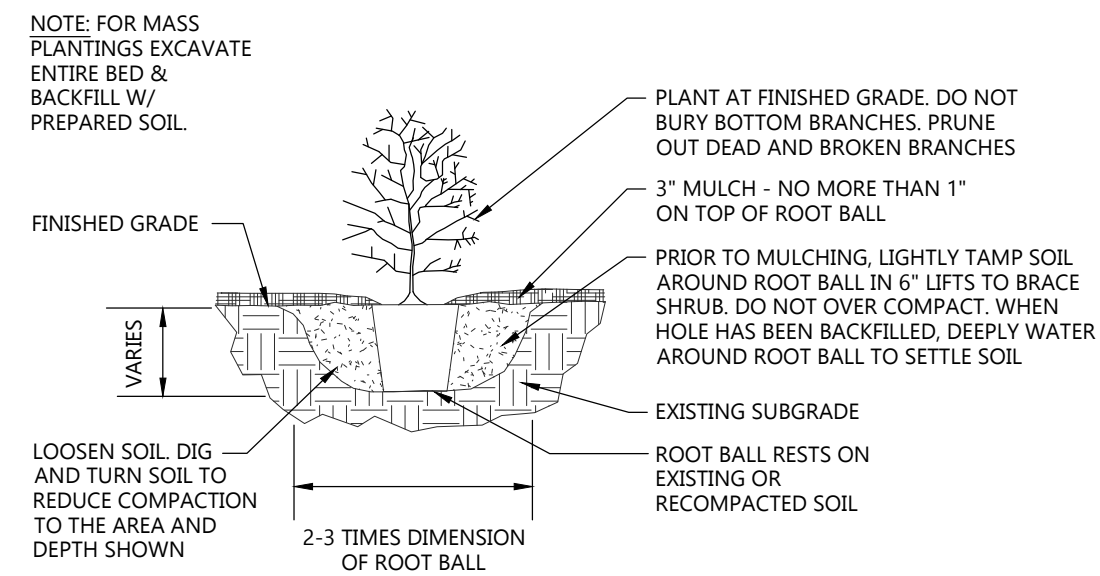
#### DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



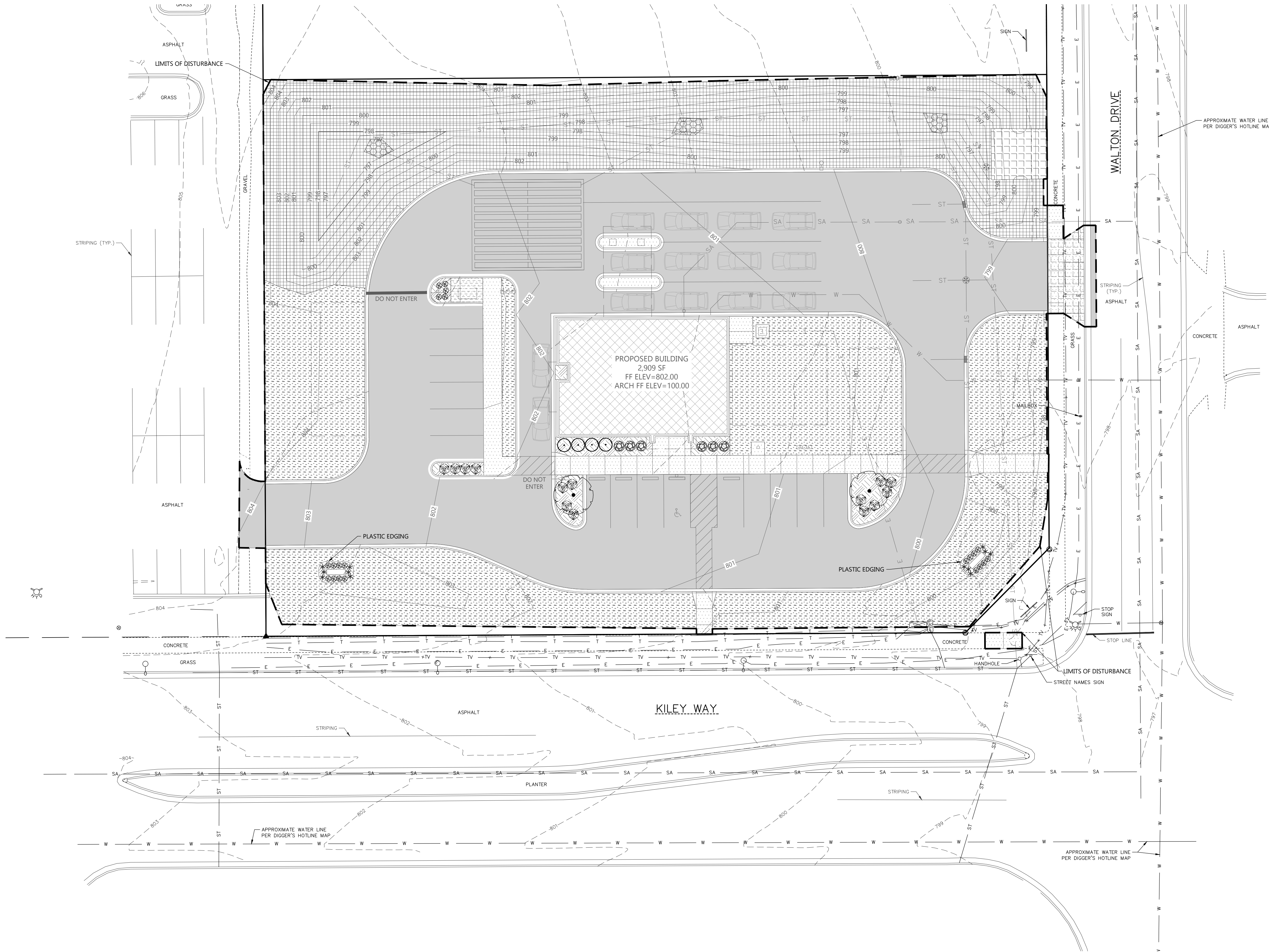
#### EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE



#### DECIDUOUS SHRUB PLANTING DETAIL

NOT TO SCALE



CIVIL LANDSCAPE AND RESTORATION PLAN

#### PROJECT INFORMATION

FINANCIAL INSTITUTION FOR:  
**LAMACCHIA GROUP**  
KILEY WAY • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

#### PRELIMINARY DATES

JULY 3, 2025  
JULY 10, 2025

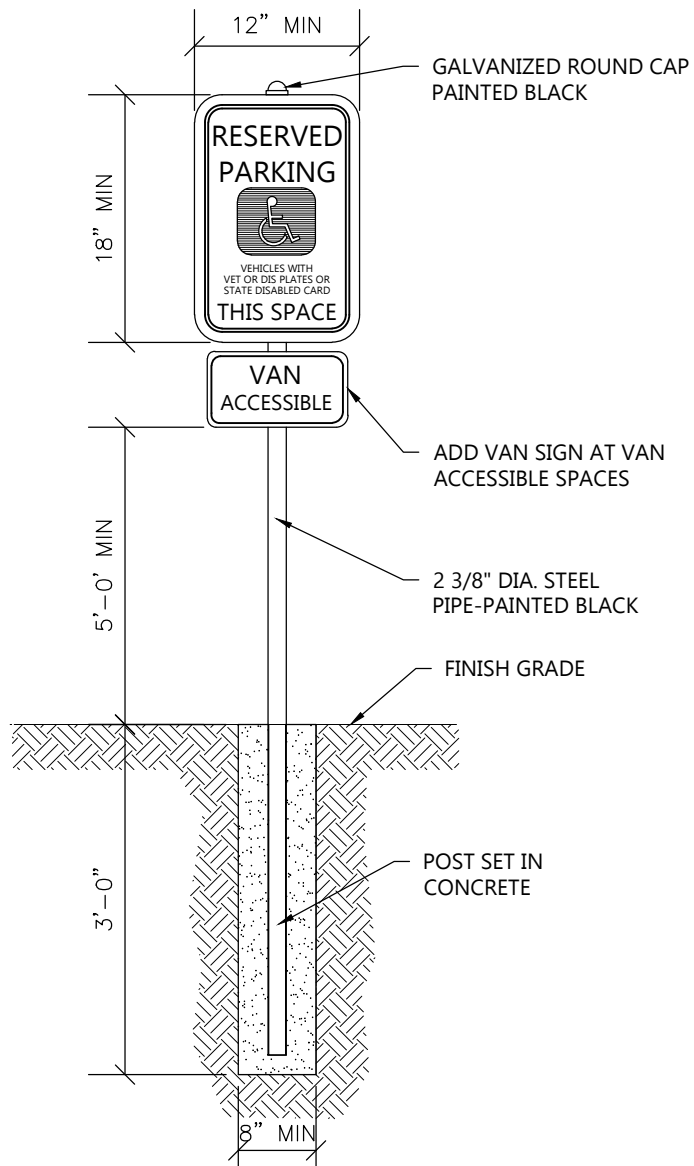
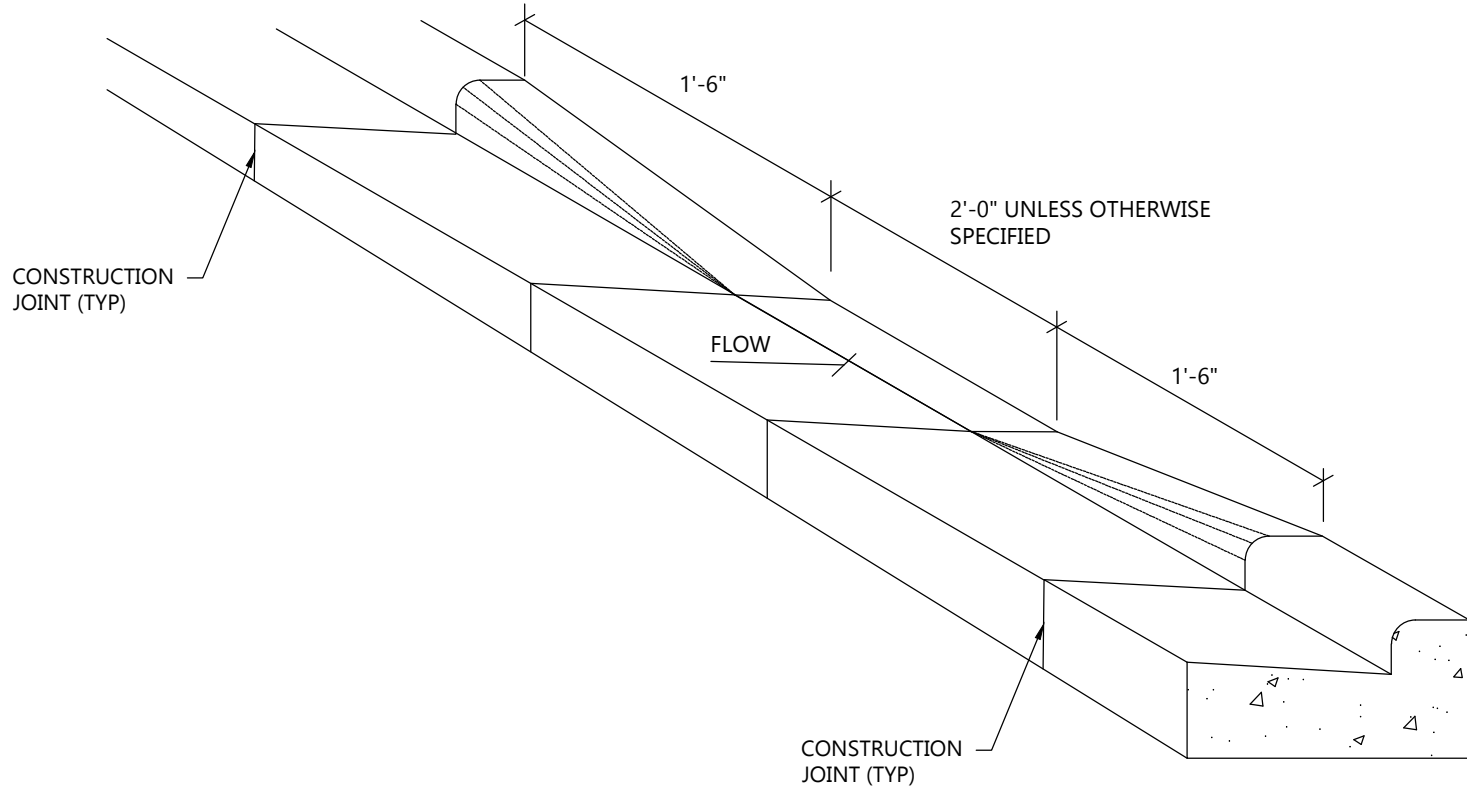
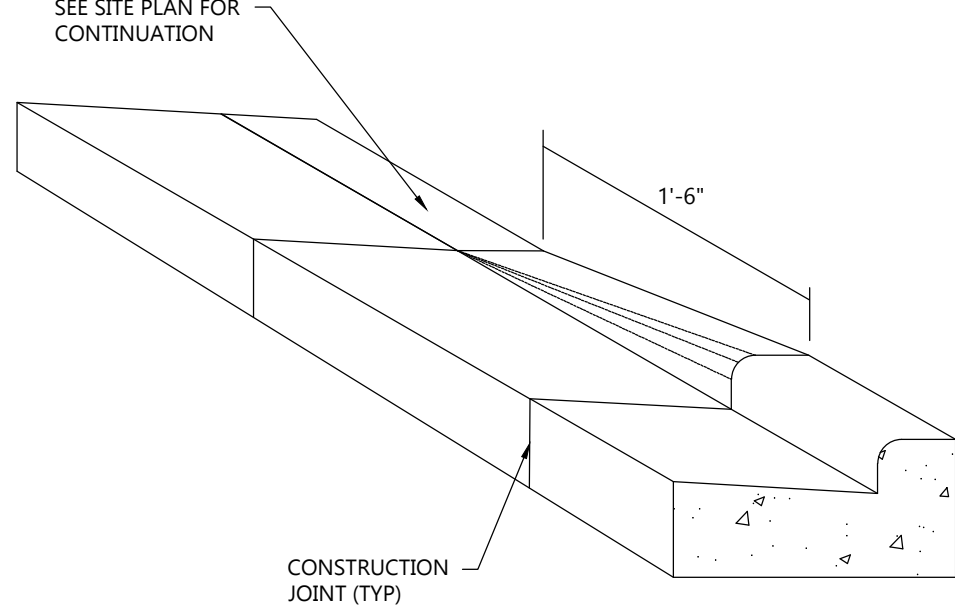
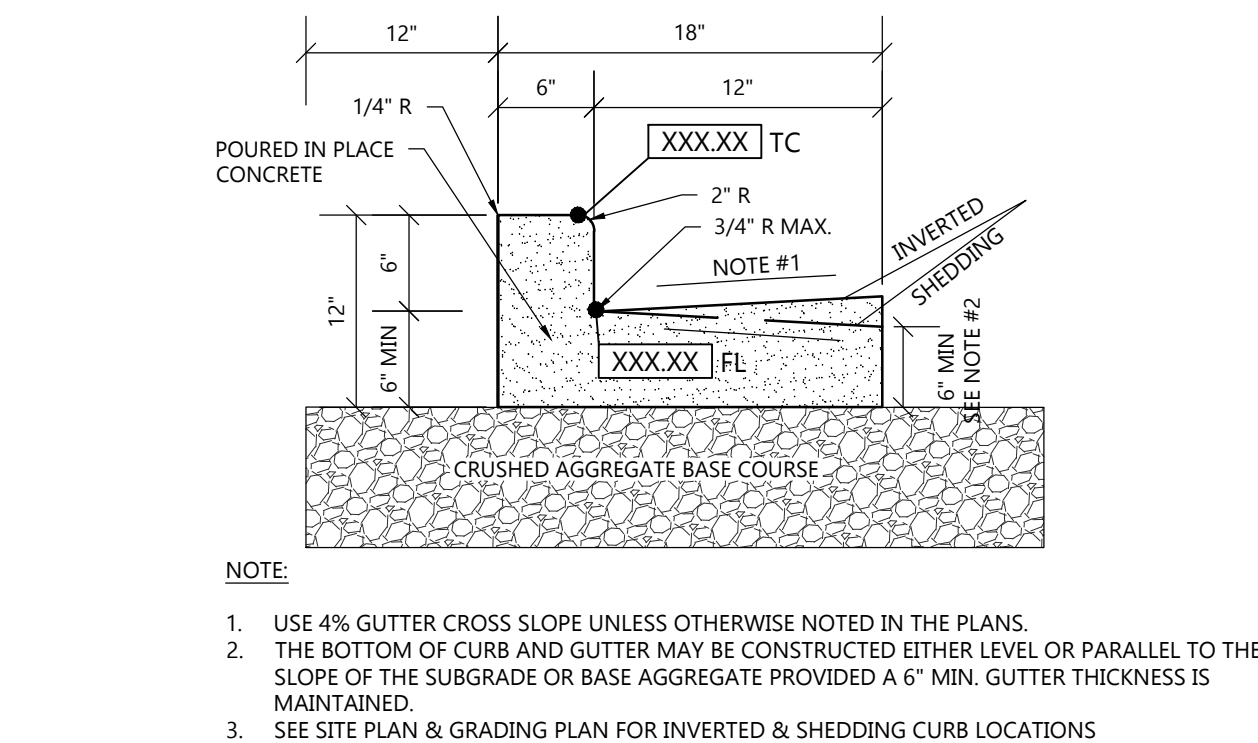
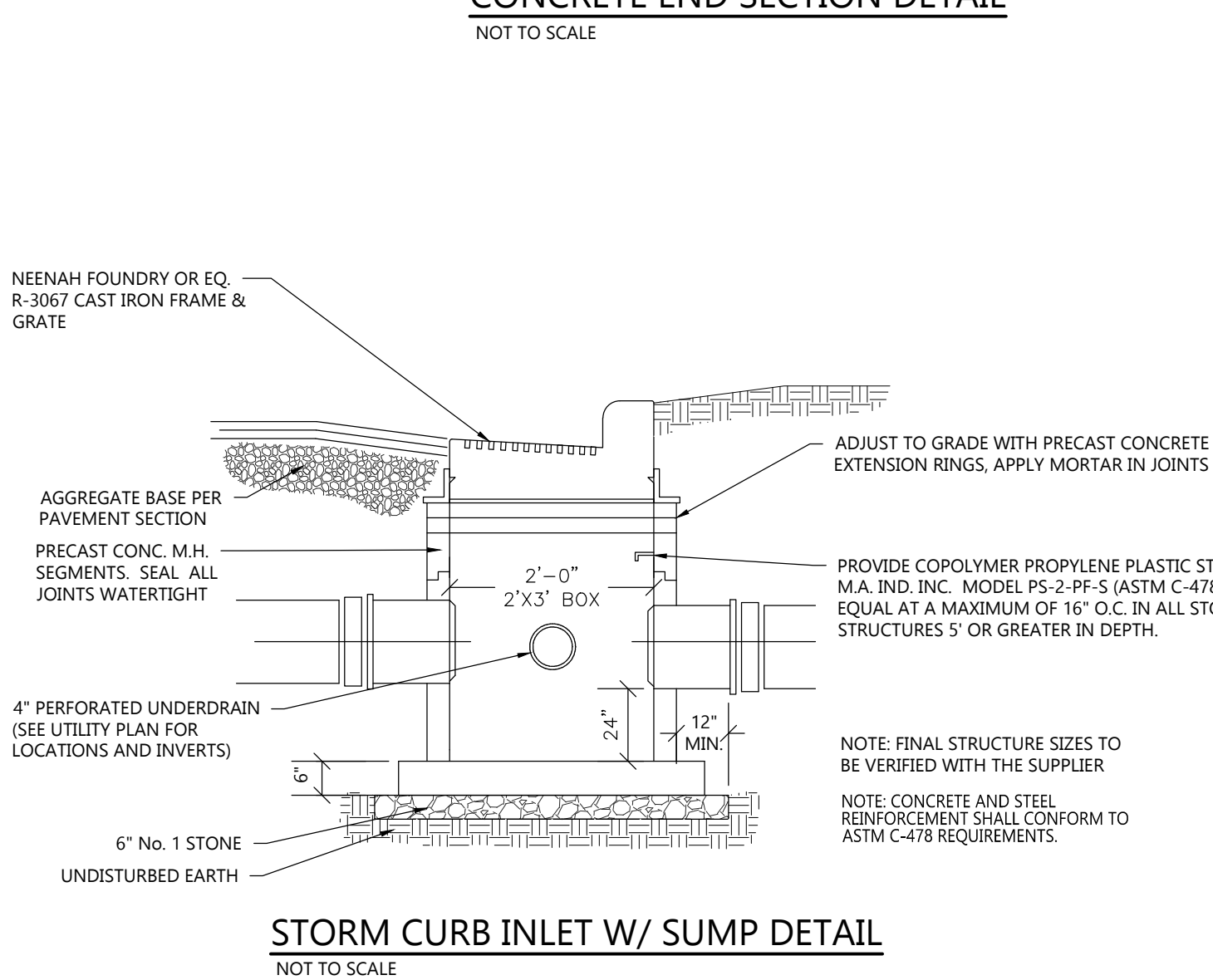
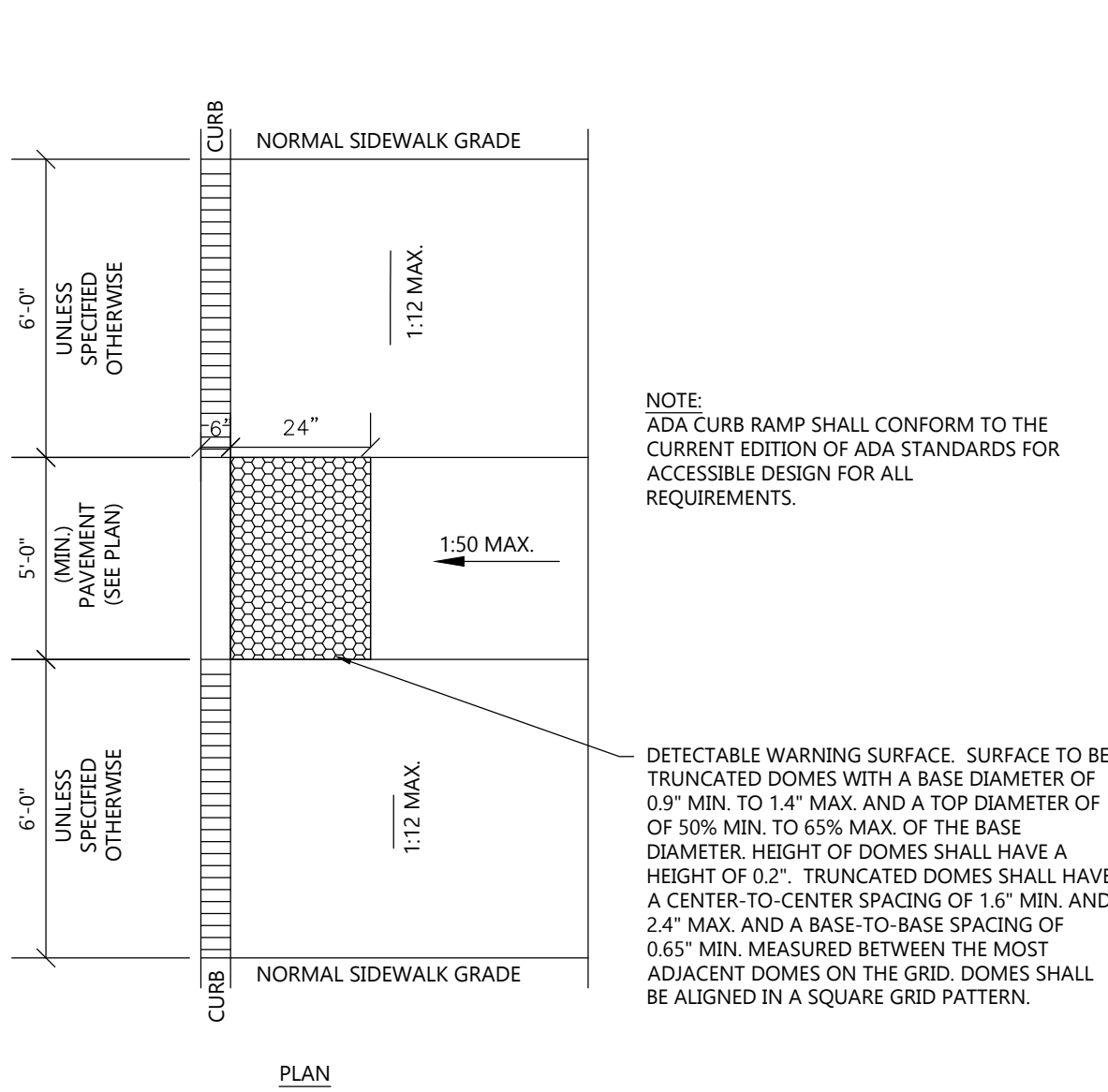
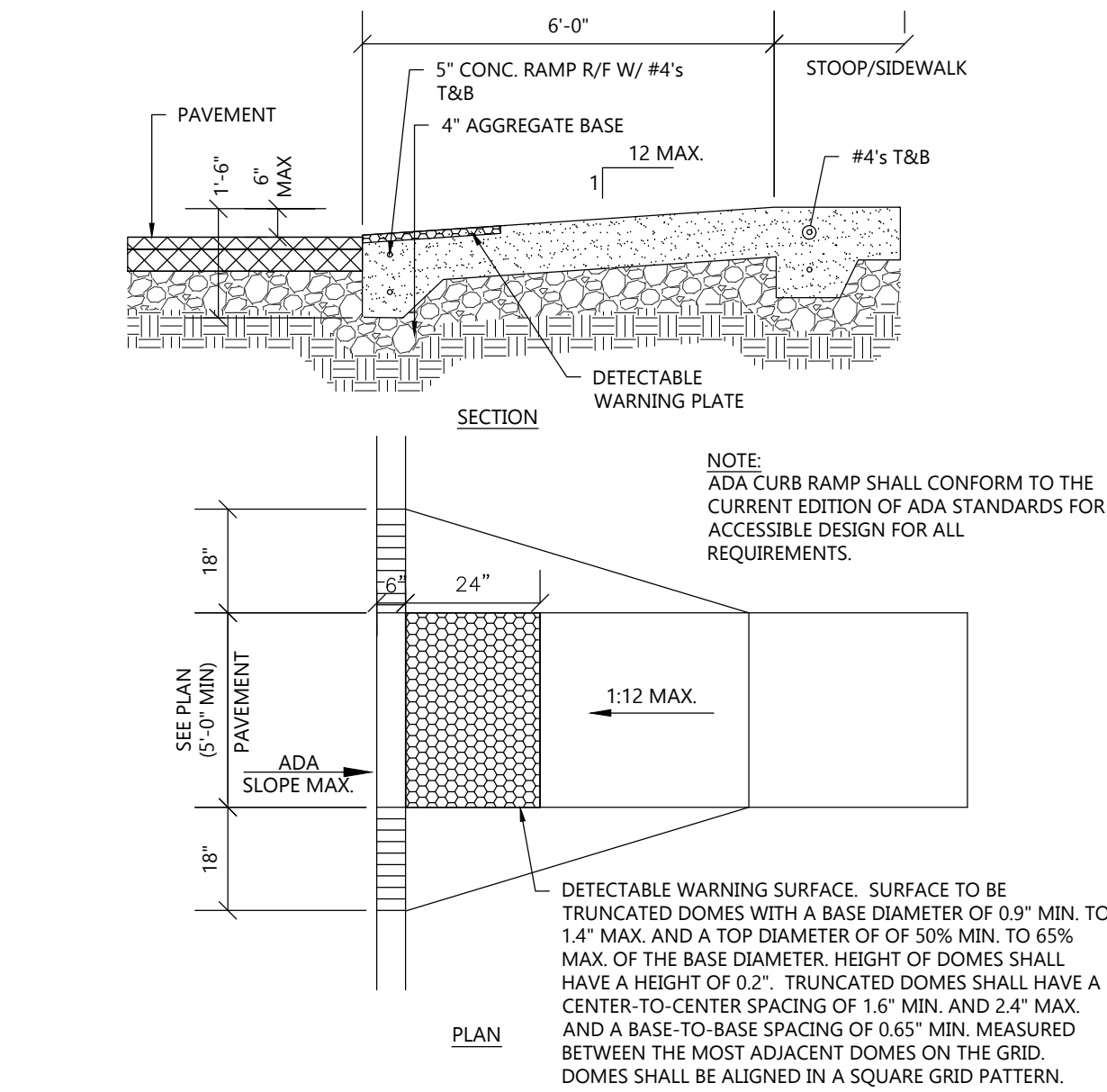
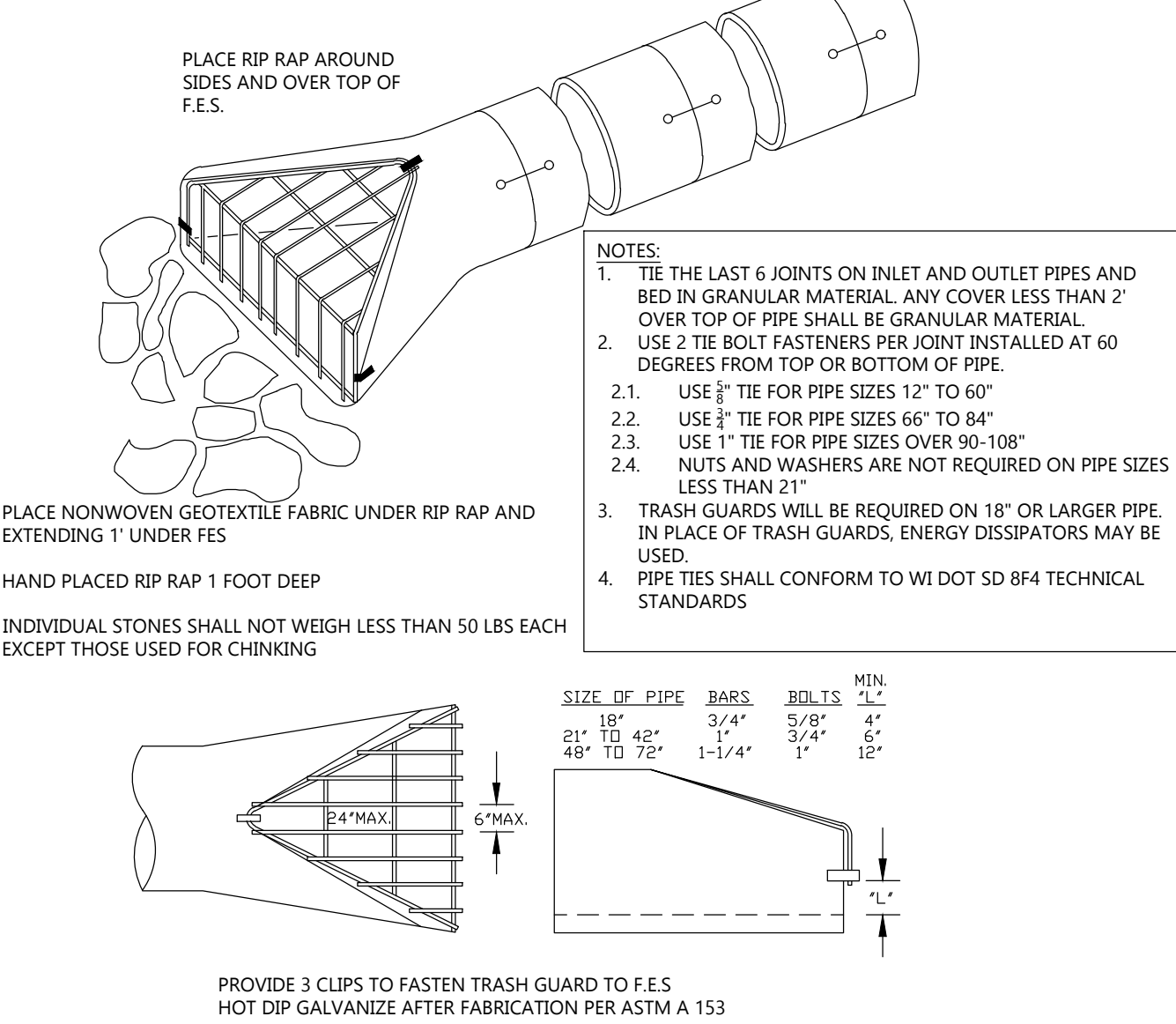
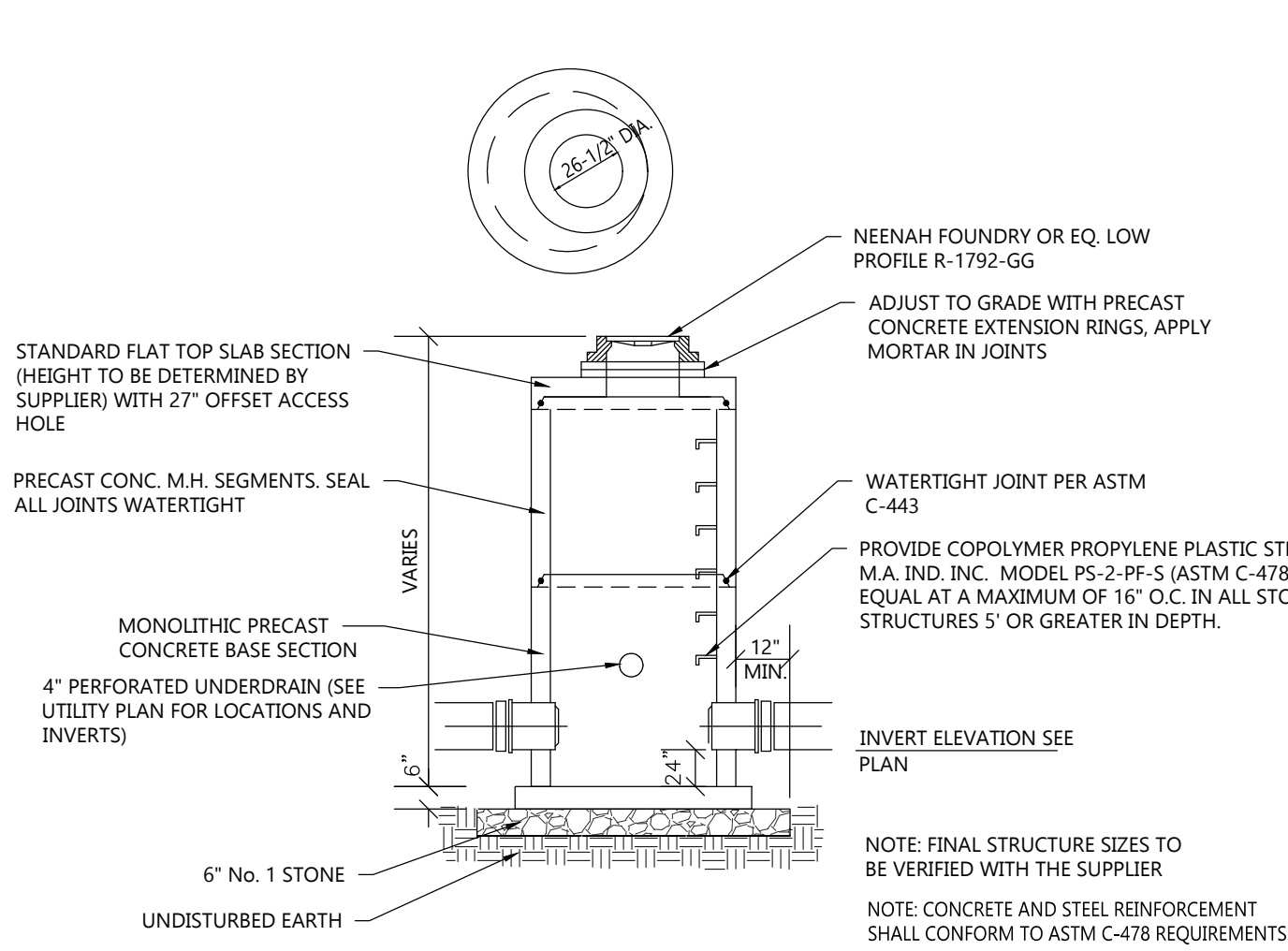
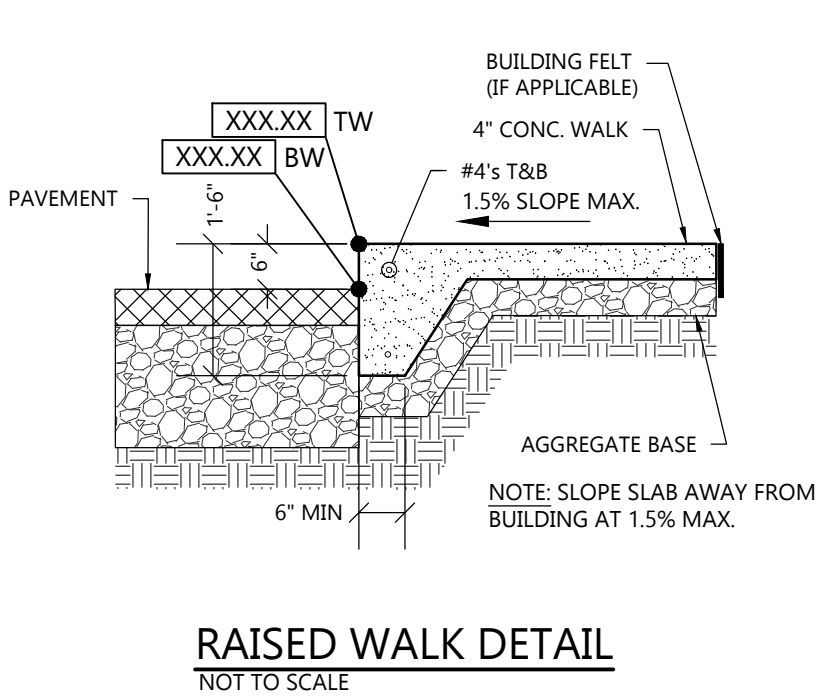
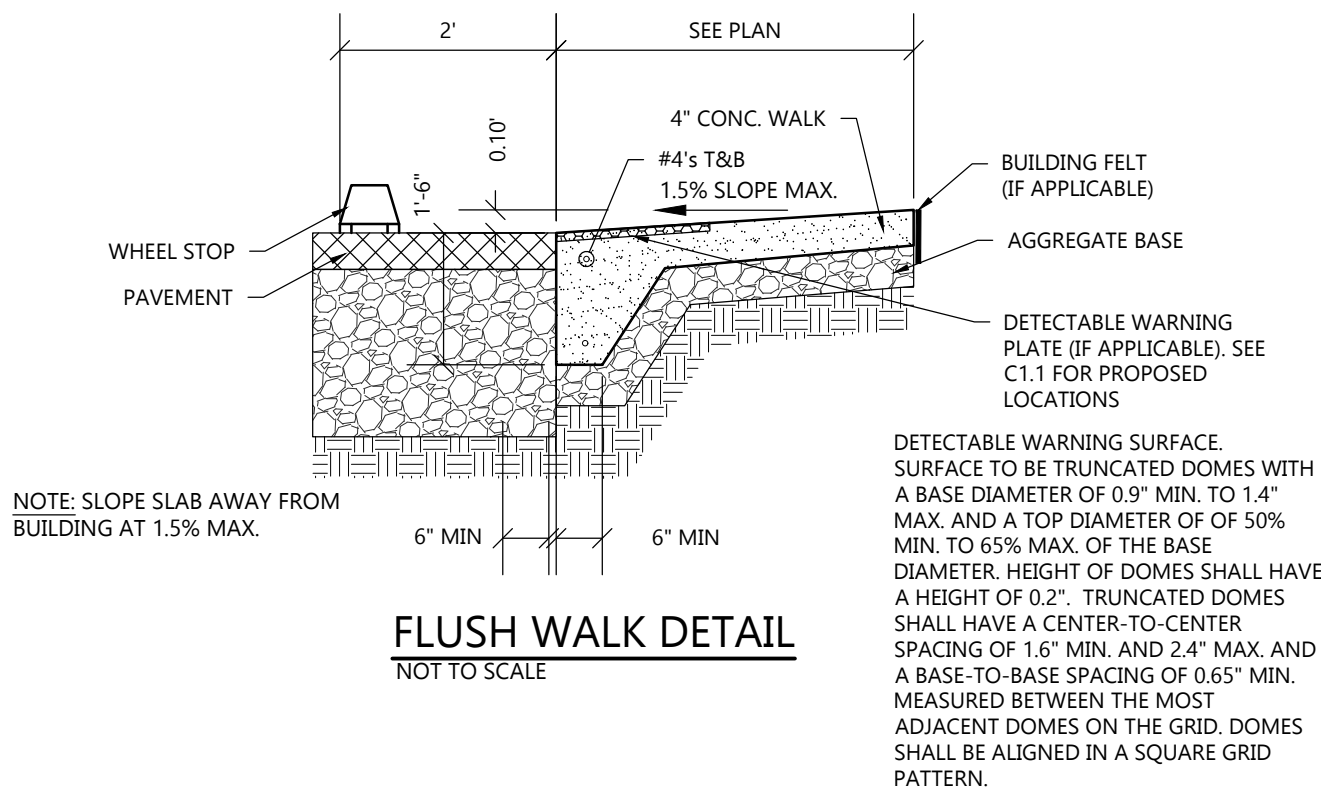
#### JOB NUMBER

250160700

#### SHEET NUMBER

**C1.4**





PROJECT INFORMATION

FINANCIAL INSTITUTION FOR:  
**LAMACCHIA GROUP**  
KILEY WAY • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

PRELIMINARY DATES

JULY 3, 2025  
JULY 10, 2025

JOB NUMBER

250160700

SHEET NUMBER

C2.0



# FIGURE 1. INLET PROTECTION TYPES A, B, AND C

**INLET PROTECTION TYPE A**

**NOTES:**

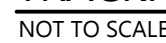
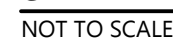
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 4", THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE FABRIC FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

**MAINTENANCE NOTES:**

- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

1050  
TECHNICAL STATION RD.  
12/20/21  
REVISION DATE  
NOT TO SCALE

NOT TO SCALE







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100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

PROJECT INFORMATION

FINANCIAL INSTITUTION FOR:  
**LAMACCHIA GROUP**  
KILEY WAY • PLYMOUTH, WI 53073

PROFESSIONAL SEAL

PRELIMINARY DATES

JULY 3, 2025  
JULY 10, 2025

NOT FOR CONSTRUCTION

JOB NUMBER

250160700

SHEET NUMBER

C3.1

Catalog # \_\_\_\_\_ Project \_\_\_\_\_ Type \_\_\_\_\_  
Prepared By \_\_\_\_\_ Date \_\_\_\_\_

Mirada Medium (MRM)  
Outdoor LED Area Light



OVERVIEW	
Lumen Package	7200 - 55,000
Wattage Range	48 - 438
Efficacy Range (LPW)	115 - 162
Weight (lbs)	30 (13.6)
Control Options	MSBT, ALB, ALS, 7-Pin, PGI

QUICK LINKS

[Ordering Guide](#) [Performance](#) [Photometrics](#) [Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 4, 5W, FT, FTA, APL and LCRC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, 3500K, 3000K and 2700K color temperatures per ANSI C78.377. Also Available in Phospho Converted Amber with Peak intensity at 650nm.
- 70 or 80CRI Minimum.
- Integral lower (LL) and integral half lower (HL) options available for enhanced backlight control.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10K - 100K) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100K Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C. 55L lumen package rate to +35°C.
- Power factor: >90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation per ANSI/IEEE C62.41.2.
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth™ motion. Features operate independently and can be commissioned via iOS or Android configuration app.

- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (see controls section for more details).

Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products.

Warranty

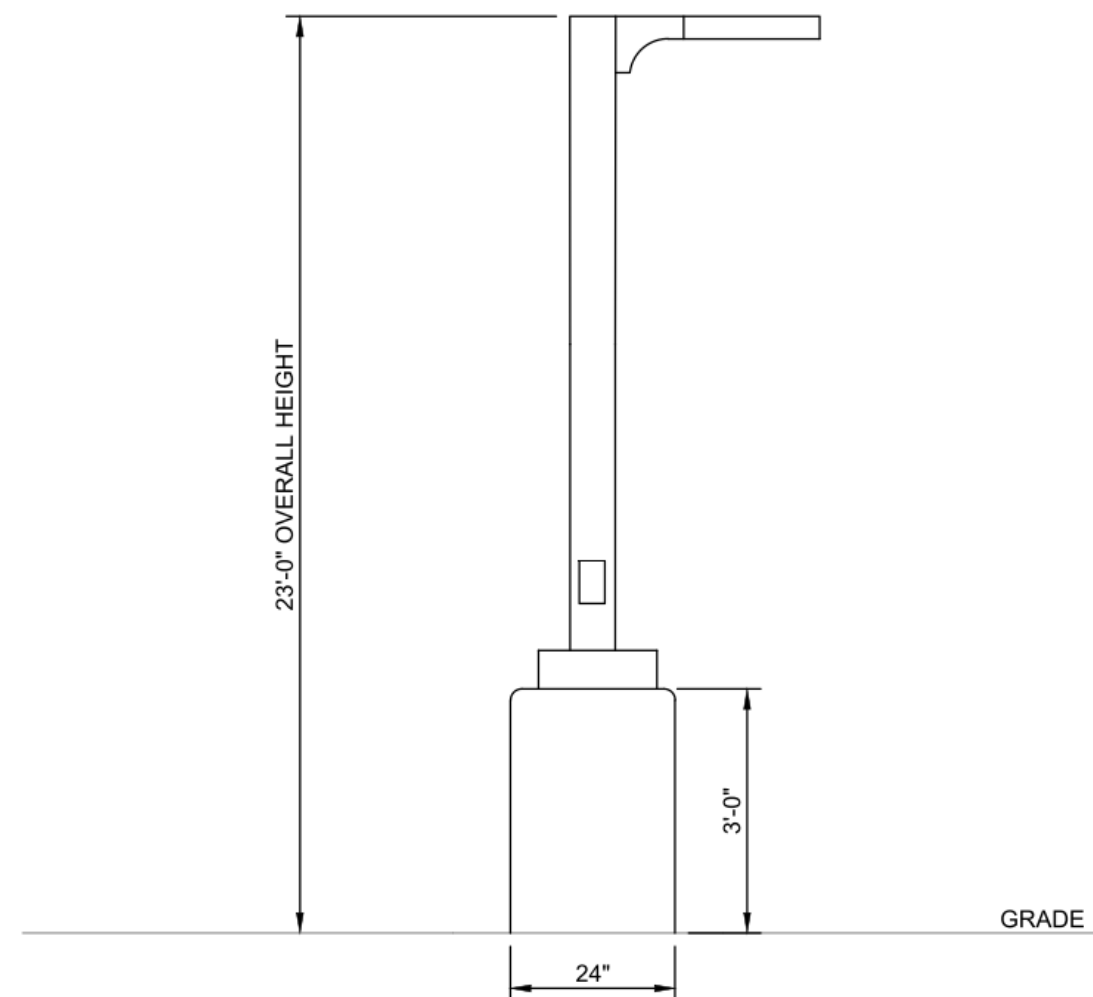
- LSI LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- Dark Sky compliant; with 3000K color temperature selection.
- Title 24 Compliant: see local ordinance for qualification information.
- RoHS compliant
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium™ (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/DLC](http://www.designlights.org/DLC) to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,965 B2)

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 372-3200 • [www.lsicorp.com](http://www.lsicorp.com)  
1031600 Rev. 01/19/2019. Specifications and drawings subject to change without notice.

Page 1/11 Rev. 04/08/25  
SPEC 1038.01.022



LIGHT POLE DETAIL

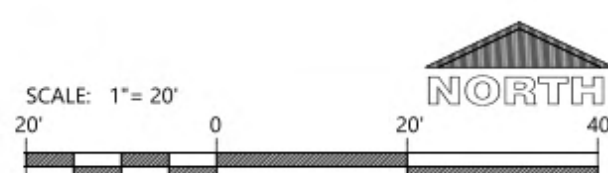
NO SCALE

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	L14	1	LSI INDUSTRIES, INC.	MRM-LED-12L-SIL-FT-30-70CRI	1	13143	1	85
	L24	3	LSI INDUSTRIES, INC.	MRM-LED-12L-SIL-FT-30-70CRI	1	13143	1	170

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	X	1.9 fc	6.2 fc	0.2 fc	31.0:1	9.5:1
Calc Zone #1	+	0.8 fc	6.2 fc	0.0 fc	N/A	N/A

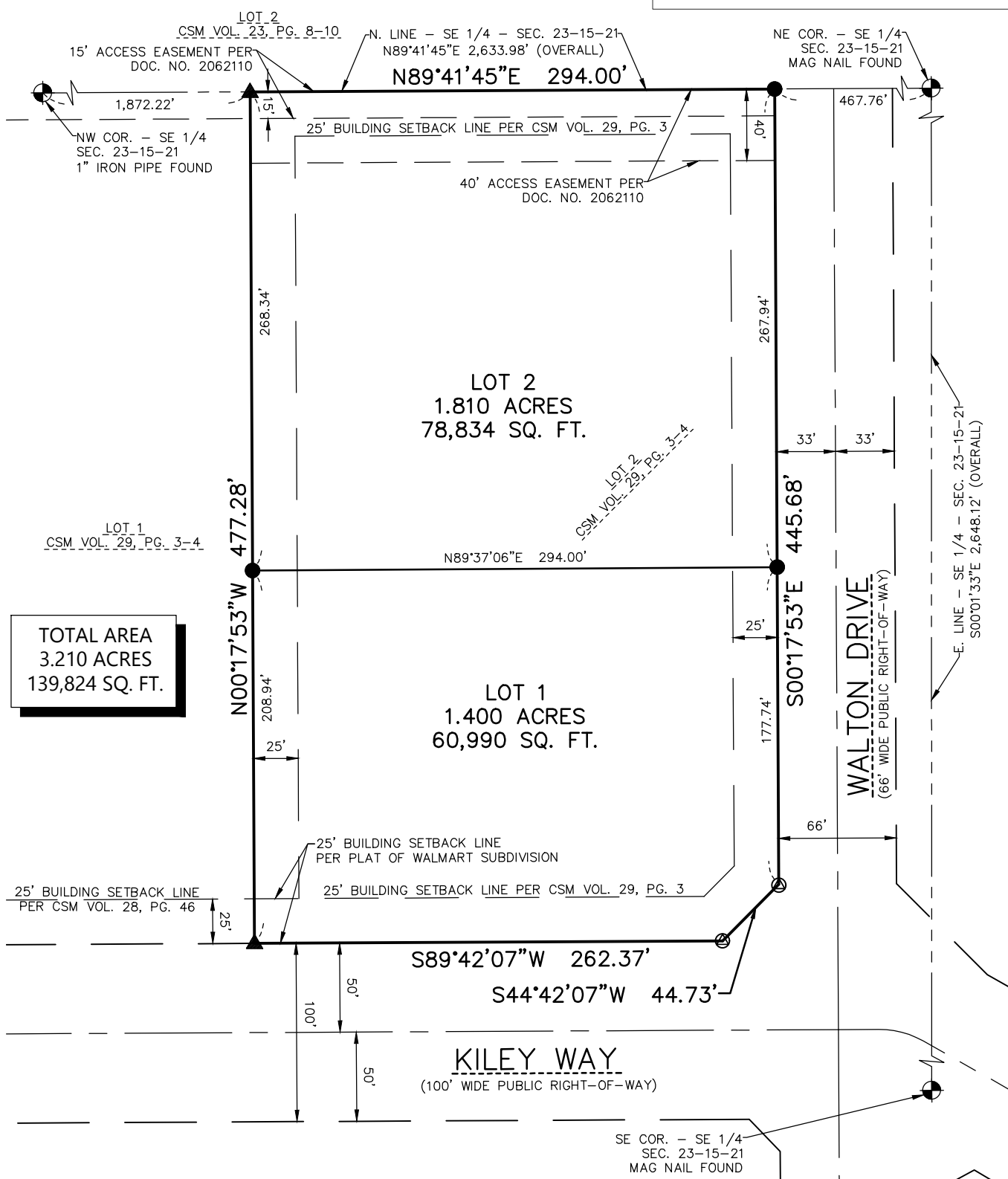


CIVIL SITE PHOTOMETRIC PLAN & DETAILS



CERTIFIED SURVEY MAP NO.

FOR  
57-23, LLC  
LOT 2 OF CSM VOL. 29, PG. 3-4, BEING PART OF THE  
NORTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 23,  
TOWNSHIP 15 NORTH, RANGE 21 EAST, CITY OF  
PLYMOUTH, SHEBOYGAN COUNTY, WISCONSIN.

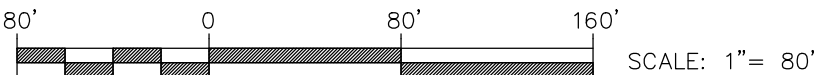


TOTAL AREA  
3.210 ACRES  
139,824 SQ. FT.

LEGEND

- - 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/FT.
  - ▲ - 1" IRON PIPE FOUND
  - ⊙ - 2" IRON PIPE FOUND
  - ⊙ - SECTION CORNER MONUMENT FOUND
- (R.A.) "RECORDED AS" INFORMATION

NORTH POINT REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, SHEBOYGAN COUNTY. THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 23 HAS A BEARING OF NORTH 00°-01'-33" WEST.



OWNER:  
57-23, LLC  
909 N. 8TH STREET STE 110  
SHEBOYGAN, WI 53081

SHEET 1 OF 3 SHEETS

**EXCEL**  
ARCHITECTS • ENGINEERS • SURVEYORS  
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Phone: (920) 926-9800  
www.EXCELENGINEER.com  
JOB NO. 250160700

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

LOT 2 OF CSM VOL. 29, PG. 3-4, BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4,  
SECTION 23, TOWNSHIP 15 NORTH, RANGE 21 EAST, CITY OF PLYMOUTH, SHEBOYGAN COUNTY,  
WISCONSIN.

**SURVEYOR'S CERTIFICATE**

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

That I have made such Certified Survey under the direction of 57-23, LLC bounded and described  
as follows:

Lot 2 of Certified Survey Map recorded in the Sheboygan County Register of Deeds Office in  
Volume 29 on Pages 3-4 as Document No. 2062110, being part of the Northeast 1/4 of the Southeast 1/4 of  
Section 23, Township 15 North, Range 21 East, City of Plymouth, Sheboygan County, Wisconsin.

That such is a correct representation of all the exterior boundaries of the land surveyed and the land  
division thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the  
Subdivision Ordinance of the City of Plymouth in surveying, dividing and mapping the same.

\_\_\_\_\_  
Ryan Wilgreen, P.L.S. No. S-2647  
ryan.wilgreen@excelengineer.com  
Excel Engineering, Inc.  
Fond du Lac, Wisconsin 54935  
Project Number: 250160700



**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

LOT 2 OF CSM VOL. 29, PG. 3-4, BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4,  
SECTION 23, TOWNSHIP 15 NORTH, RANGE 21 EAST, CITY OF PLYMOUTH, SHEBOYGAN COUNTY,  
WISCONSIN.

**OWNER'S CERTIFICATE**

57-23, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this map to be surveyed, divided and mapped as represented on this map.

57-23, LLC does further certify that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- 1. City of Plymouth

WITNESS the hand and seal of said owner this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

57-23, LLC

\_\_\_\_\_

\_\_\_\_\_, \_\_\_\_\_  
(Print) (Title)

STATE OF \_\_\_\_\_ )  
\_\_\_\_\_ COUNTY )SS

Personally, came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, the above named \_\_\_\_\_ to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public, \_\_\_\_\_ County, \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

**Certified Survey Map for 57-23, LLC Preliminary CSM dated 6/24/2025**  
**Certified Survey Map Review conducted 7/29/2025**

The Chapter/Section numbers listed below refer to Wis. Stats. Chapter 236.34 and the City of Plymouth Code of Ordinances, Title 14 – Subdivision Regulations.

<b><u>Ch./Sec.</u></b>	<b><u>Comment</u></b>
236.34 (1m)(c)	<p><i>The map shall be prepared in accordance with ss. 236.20 (2)(c) Where the exterior boundary lines show bearings or lengths that vary from those recorded in abutting plats or certified surveys there shall be the following note placed along the lines, “recorded as (show recorded bearing or length or both)”.</i></p> <p>Add “recorded as” for any bearings and/or lengths that differ from those shown on CSM Vol. 29, Pg. 3-4.</p> <p>Also, add “recorded as” to the 25’ building setback line noted on Sheet 1, since it varies from the current setbacks for lots that are zoned B-1.</p>
14-1-42 (c) (2)	<p><i>Setbacks or building lines required by the common council and the city Zoning Code.</i> On Sheet 1, list the setbacks according to the appropriate zoning for Lot 1 and Lot 2.</p>
14-1-42 (c) (8)	<p><i>Present zoning for the parcels.</i> On Sheet 1, label the appropriate zoning for Lot 1 and Lot 2.</p>
14-1-42 (e)	<p><i>Certificates. The common council, after a recommendation by the reviewing agencies, shall certify its approval on the face of the map.</i> Add a common council approval certificate to either Sheet 2 or Sheet 3.</p>



**DATE:** July 31, 2025

**TO:** Plan Commission

**FROM:** Jack Johnston, Assistant City Administrator/Community Development Director

**RE:** **Site Plan Seeking Approval:** 4200 CTH PP SFC-Plymouth, LLC (dba Sartori Cheese) for the construction of a ~68,000 square foot building addition and related site plan improvements. Abacus Architects (enclosure)

**Background:**

SFC-Plymouth, LLC (dba Sartori Cheese) has submitted a site plan review application for a new ~68,000 square foot building addition to accommodate additional converting and packaging lines at their facility located at 4200 CTH PP in the City of Plymouth. The addition will be built and connect to the existing building and previous addition on the property's eastern boundary along Sartori Whey. The addition will be served by existing driveways located off of Sartori Whey, with primary employee parking to remain located off of CTH PP.

<b>ZONING CONSISTENCY MATRIX</b>		
	<b><i>Required</i></b>	<b><i>Provided</i></b>
<b>Zoning</b>	H-I	H-I
<b>Minimum Frontage</b>	n/a	~850' CTH PP >1,000 Sartori Whey
<b>Maximum Lot Coverage of All Buildings</b>	50%	17.9%
<b>Minimum Lot Width at Building Line</b>	200'	~850'
<b>Minimum Front Yard Setback</b>	40'	40' from Sartori Whey >200' from CTH PP
<b>Minimum Side Yard Setback</b>		
Principal Building	30'	~270' minimum
Accessory Building	10'	
<b>Minimum Rear Yard Setback</b>	40'	n/a (two front yards)
<b>Maximum Height Principal Structures</b>	45', up to 80' with CUP	36' at tallest side

**Comprehensive Plan/Zoning/Setbacks:**

In total, the property is approximately 22.31 acres and contains the campus to their existing industrial facility. The proposed addition conforms with the City's Comprehensive Plan for the area which calls for this area to remain industrial in nature. The existing and continued proposed use are also harmonious with the City zoning district and H-I Heavy Industrial Zoning District.

City staff has provided the zoning matrix above that indicates no issues with the site plan in respect to setbacks in H-I, building heights, lot coverage, and lot width, etc.



**Overall Design:**

The addition is proposed to be built on the east side of the existing plant along the northwest corner of Sartori Whey and CTH PP. The structure will maintain the required 40' setback along Sartori Whey with a setback over 200' from CTH PP. The addition is proposed to measure 36' in height from the south elevational drawings. This is within code. The height will essentially match the existing High Bay that has already been constructed. Existing asphalt pavement and gravel will be removed in order to make way for the new building addition.

In terms of materials and color, the primary walls will be built with insulated metal wall panels, with a soft yellow to match the existing building.

**Access:**

As noted earlier, the addition will be accessed by vehicular traffic directly off of existing driveways along Sartori Whey. A separate driveway and parking lot services the western end of the building and is primarily used for employee parking and visitors. The driveway entrances are not being altered, but the pavement along the driveways on the eastern end will be patched as needed. An existing gravel access drive connecting the north eastern driveway to the employee parking lot on the west side of the property is shown to stay.

**Signage:**

The application does not include any proposed signage for the building addition. Any new signage must adhere to City code in regards to type of signs as well as size. These applications are handled by municipal staff and do not typically come back to the Plan Commission for review and approval.

**Landscaping Plan:**

The property is already landscaped, with an assortment of primarily evergreen trees and shrubs along both Sartori Whey and CTH PP. The rest of the property is primary mown grass and mulch beds. The applicant did submit an updated landscaping plan indicating the trees along CTH PP will be protected during construction. Current landscaping photos are attached as Attachment II.

The applicant has submitted a Landscaping Plan prepared by Kelly's Landscape Design. Staff has sought feedback if the plantings on the map reflect the current state of the site or if Sartori plans to update their landscaping after the addition is completed with what is presented on the plan. Based on the plan, it appears existing plantings along CTH PP will be protected during construction for the addition, but the plan notes that "if the existing trees [along Sartori Whey] are not disturbed during construction of new addition, they should remain." Staff has sought feedback from the applicant if the plantings along Sartori Whey will be replaced if they are disturbed during the construction process for the addition. Staff will provide clarification of this item at the meeting. Any future tree plantings must be at least six feet from the public right of way.

PMC 13-1-92 requires that parking lot landscaping shall be equal to at least ten percent (10%) of the surface drives and parking area. The submitted landscaping plan indicates compliance with the ordinance with adequate plantings and an existing manicured grass lawn over most of the southern portion of the site.

**Public Works Department:**

DPW Director Austin reviewed the plans and had the following comment:

**Sanitary Demand:** Approval from Plan Commission for the site may need to be contingent on an approved utility plan by the Director of Public Works to ensure compliance with the Sewer Rules and Regulations, specifically the Control of Industrial Wastes Directed to Public Sewers.

**Plymouth Fire Department:**

Fire Chief Ryan Pafford has provided comment included as an attachment to this report indicating the proposed site plan shows a proposed access road that is acceptable to fire department standards. He noted the road should be maintained year-round for safe ingress and egress for emergency vehicles.

**Plan Commission Consideration(s):**

Sec. 15-1-3(g) of the City Code indicates that the Plan Commission must review and approve any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts before the issuance of a building permit from the building inspector:

- *Site plan approval.* All applications for building permits for any construction, reconstruction, expansion or conversion, except for one and two family residences in residentially zoned districts shall require site plan approval by the plan commission.

When considering acting on a site plan application, the Plan Commission should consider the following:

- a. The appropriateness of the site plan and buildings in relation to the physical character of the site and the usage of adjoining land areas.
- b. The layout of the site with regard to entrances and exits to public streets; the arrangement and improvement of interior roadways; the location, adequacy and improvement of areas for parking and for loading and unloading; and shall, in this connection, satisfy itself that the traffic pattern generated by the proposed construction or use shall be developed in a manner consistent with the safety of residents and the community, and the applicant shall so design the construction or use as to minimize any traffic hazard created thereby.
- c. The adequacy of the proposed water supply, drainage facilities and sanitation and waste disposal.
- d. The landscape and appearance of the completed site. The plan commission may require that those portions of all front, rear and side yards not used for off-street parking shall be attractively planted with trees, shrubs, plants or grass lawns, and that the site be effectively screened so as not to impair the value of adjacent properties nor impair the intent of purposes of this section.

**Staff Recommendation/Action Requested:**

Staff recommends the Plan Commission approve the site plan for Sartori with the following contingencies:

- Approved utility plan by the Director of Public Works to ensure compliance with the Sewer Rules and Regulations, specifically the Control of Industrial Wastes Directed to Public Sewers.

**Copies Mailed/Emailed To:**

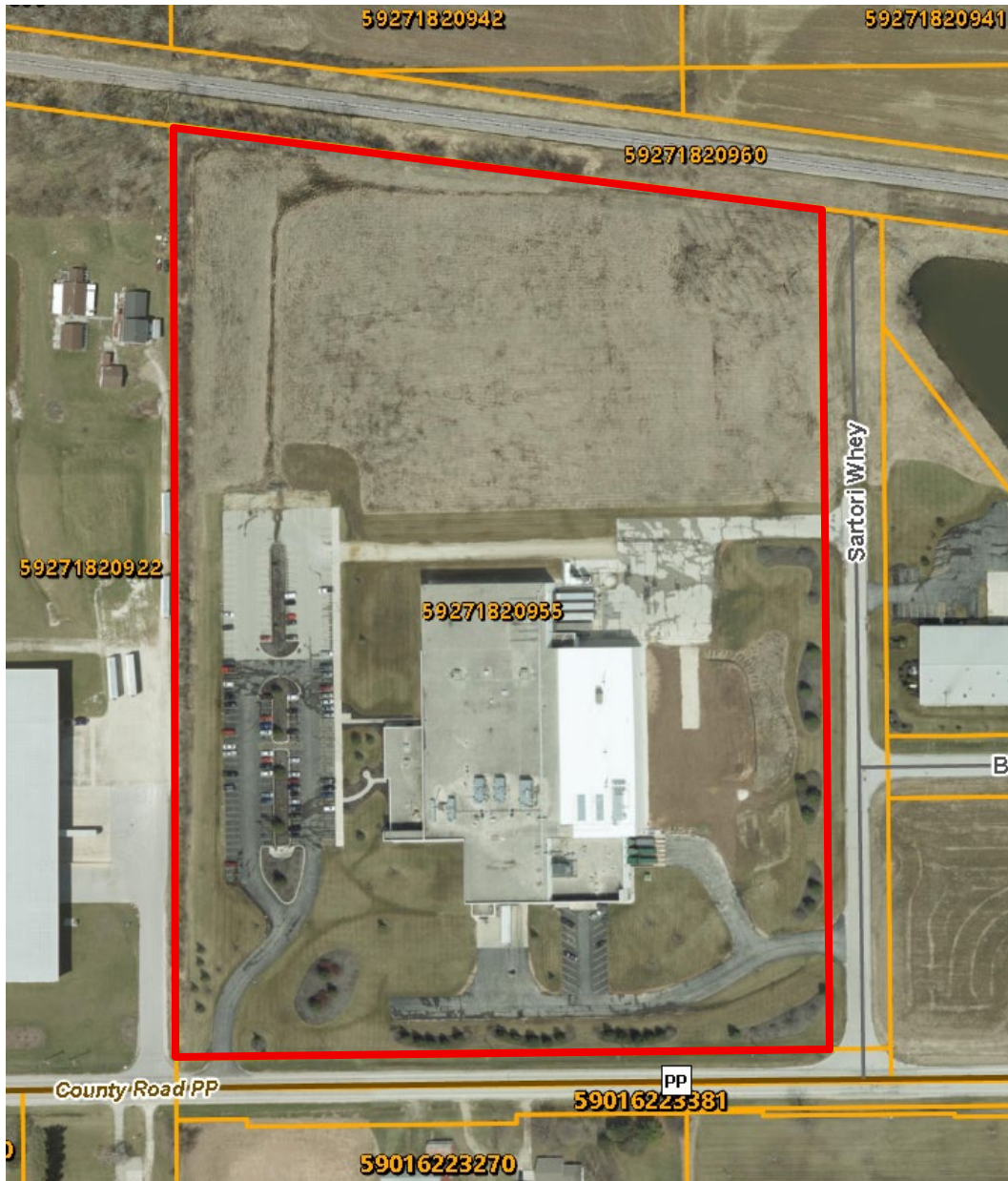
- I. Kurt Davis: [kdavis@abacusarch.com](mailto:kdavis@abacusarch.com)

**Attachments:**

- I. GIS Map
- II. Current Landscaping
- III. Applicant Materials
- IV. Plymouth Fire Department Review

Action	Date	Status
Site Plan Review for Addition	8/7/2025	This Meeting

Attachment I.





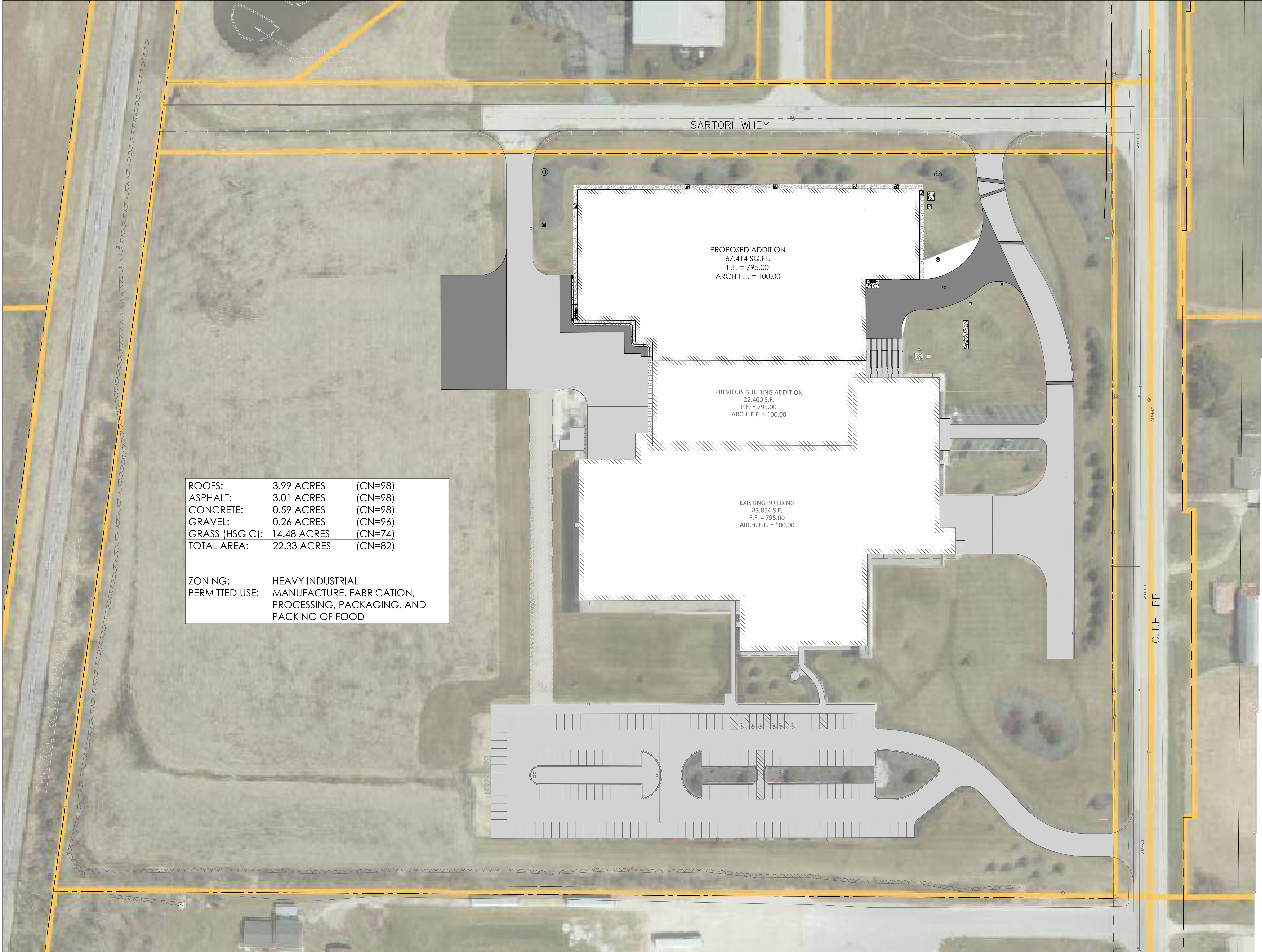
Attachment II.











ROOFS:	3.99 ACRES	(CN=98)
ASPHALT:	3.01 ACRES	(CN=98)
CONCRETE:	0.59 ACRES	(CN=98)
GRAVEL:	0.26 ACRES	(CN=96)
GRASS (HSG C):	14.48 ACRES	(CN=74)
TOTAL AREA:	22.33 ACRES	(CN=82)
ZONING:	HEAVY INDUSTRIAL	
PERMITTED USE:	MANUFACTURE, FABRICATION, PROCESSING, PACKAGING, AND PACKING OF FOOD	



REVISIONS:		
△	DATE	ISSUE
NOTICE TO BIDDERS BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK. © 2024 ABACUS ARCHITECTS, INC.		

ISSUE DATE: JULY 10, 2025  
EAST ADDITION  
SARTORI WHEY  
4200 COUNTY HIGHWAY PP, PLYMOUTH, WISCONSIN 53073  
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210 MILWAUKEE, WI 53203

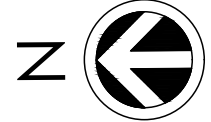
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CHECKED BY: JRV

LAND USE EXHIBIT

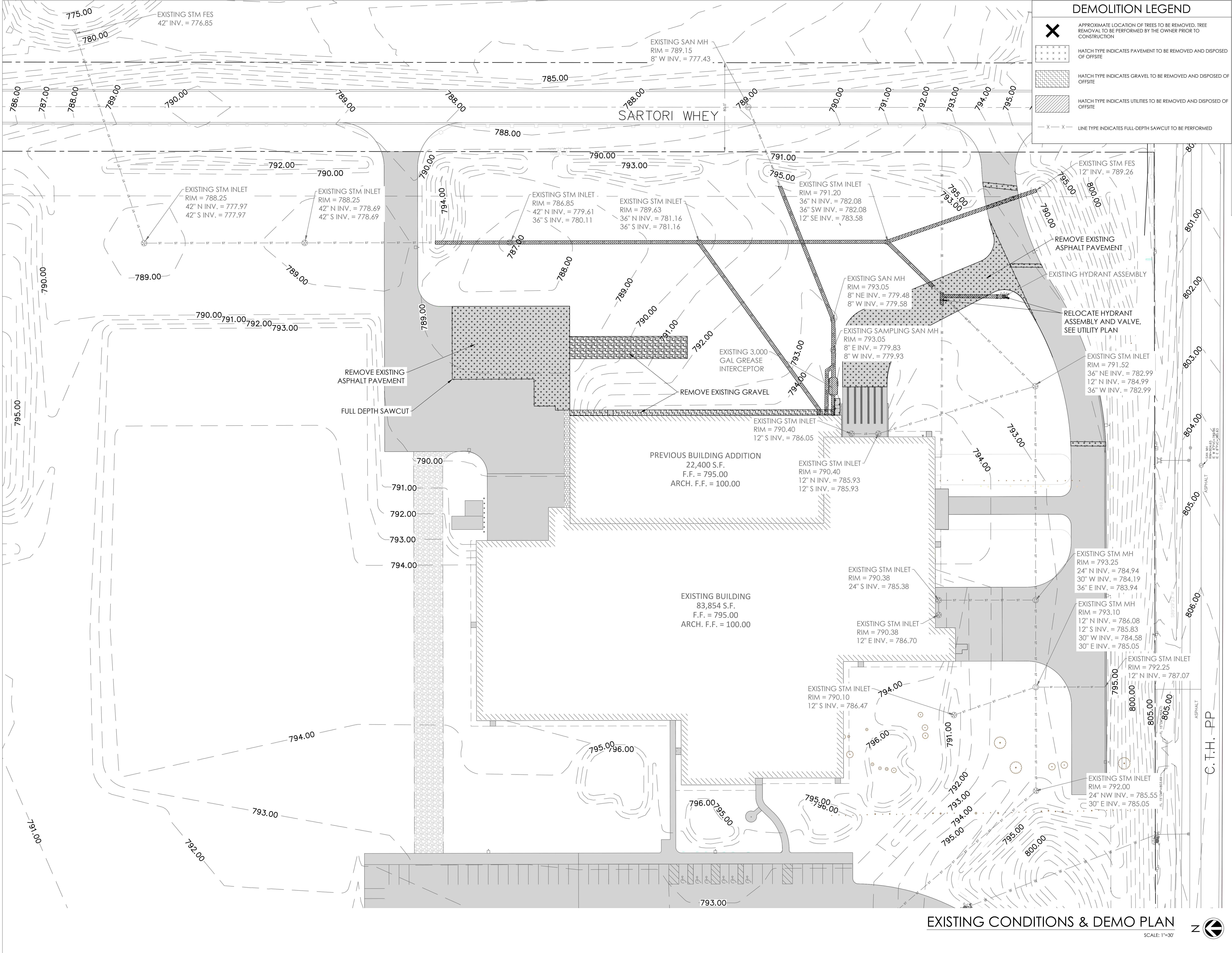
A  
EX1

PROJ. NO. 2024-168

LAND USE EXHIBIT  
SCALE: 1"=40'







DEMOLITION LEGEND

X

APPROXIMATE LOCATION OF TREES TO BE REMOVED. TREE REMOVAL TO BE PERFORMED BY THE OWNER PRIOR TO CONSTRUCTION

XXXXXX

HATCH TYPE INDICATES PAVEMENT TO BE REMOVED AND DISPOSED OF OFFSITE

[Hatched Box]

HATCH TYPE INDICATES GRAVEL TO BE REMOVED AND DISPOSED OF OFFSITE

[Hatched Box]

HATCH TYPE INDICATES UTILITIES TO BE REMOVED AND DISPOSED OF OFFSITE

— X — X —

LINE TYPE INDICATES FULL-DEPTH SAWCUT TO BE PERFORMED

ABACUS ARCHITECTS

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DATE	ISSUE
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ISSUE DATE: JULY 10, 2025  
EAST ADDITION  
SARTORI WHEY  
4200 COUNTY HIGHWAY "PP", PLYMOUTH, WISCONSIN 53073  
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640' N VEL R. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

PERMIT SET

DRAWN BY: MBS  
CHECKED BY: JRV

EXISTING CONDITIONS & DEMO PLAN

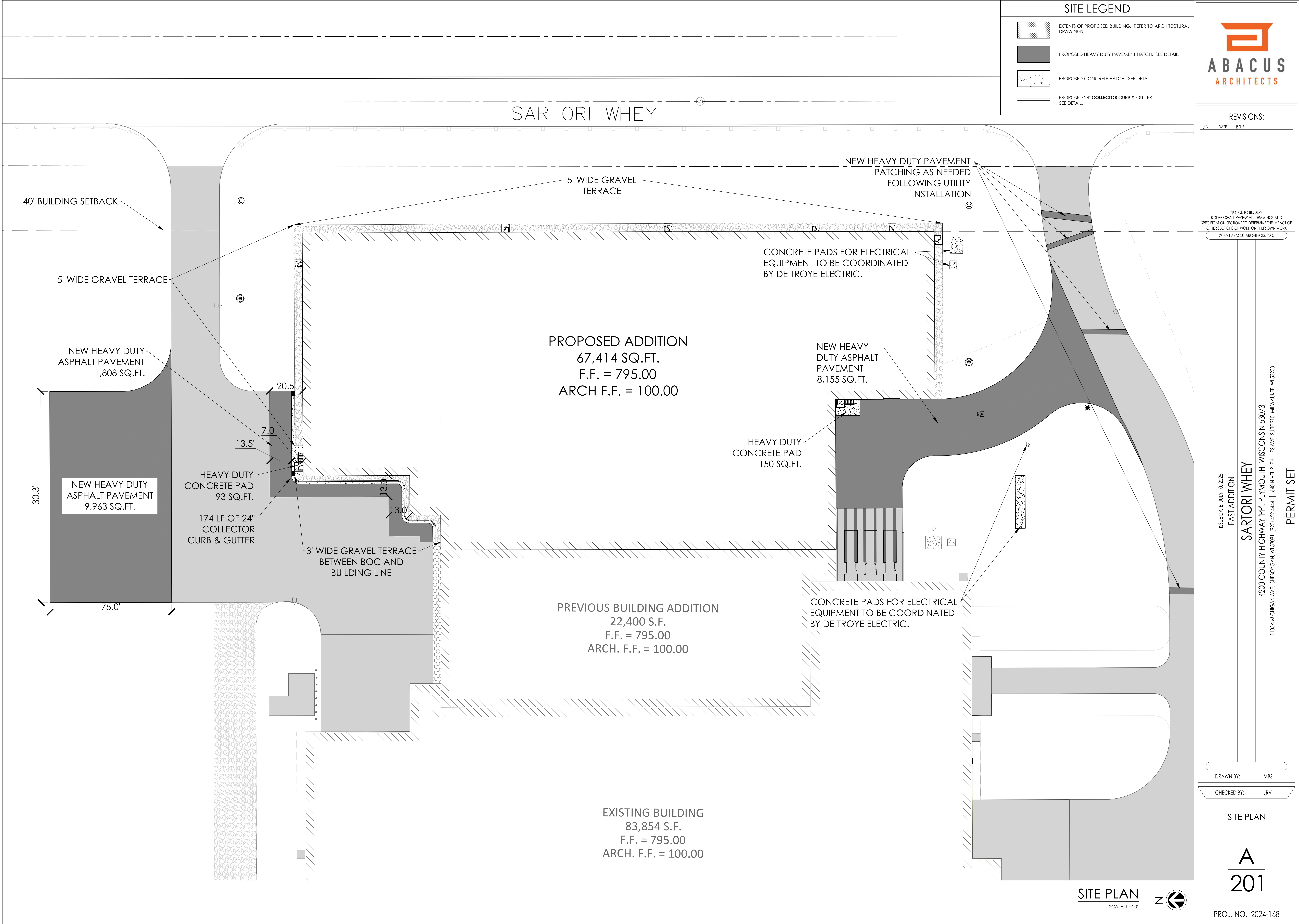
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PROJ. NO. 2024-168

Page 65 of 75



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July 10, 2025





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Δ	DATE	ISSUE
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ISSUE DATE: JULY 10, 2025  
EAST ADDITION  
**SARTORI WHEY**  
4200 COUNTY HIGHWAY 'PP', PLYMOUTH, WISCONSIN 53073  
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210 MILWAUKEE, WI 53203

PERMIT SET

DRAWN BY: MBS  
CHECKED BY: JRV

SITE PLAN

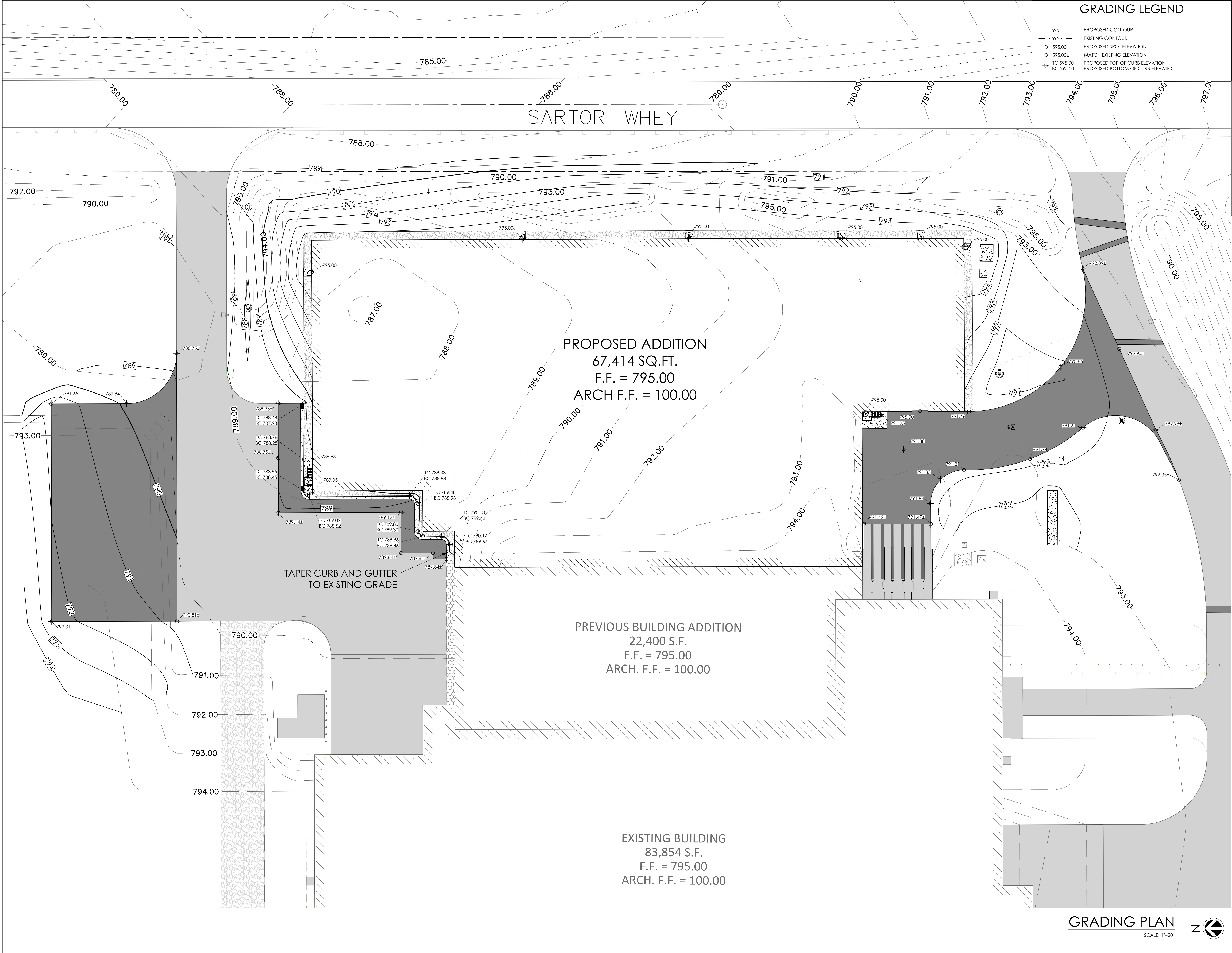
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PROJ. NO. 2024-168

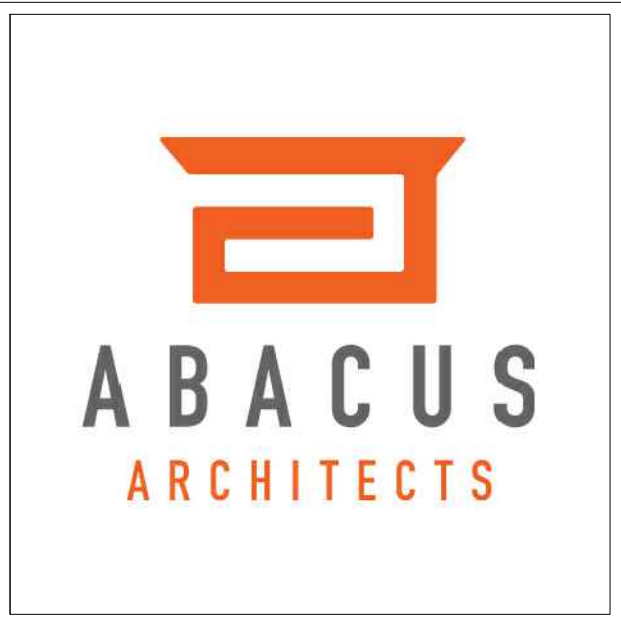


July 10, 2025

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GRADING LEGEND	
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED SPOT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED BOTTOM OF CURB ELEVATION



REVISIONS:	
DATE	ISSUE

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ISSUE DATE: JULY 10, 2025

EAST ADDITION

**SARTORI WHEY**

4200 COUNTY HIGHWAY PP, PLYMOUTH, WISCONSIN 53073

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210 MILWAUKEE, WI 53203

PERMIT SET

DRAWN BY: MBS

CHECKED BY: JRV

GRADING PLAN

**A**

**202**

PROJ. NO. 2024-168



REVISIONS:

DATE ISSUE

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ISSUE DATE: JULY 10, 2025

EAST ADDITION

SARTORI WHEY

4200 COUNTY HIGHWAY 'PP', PLYMOUTH, WISCONSIN 53073

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210 MILWAUKEE, WI 53203

PERMIT SET

DRAWN BY:

MBS

CHECKED BY:

JRV

UTILITY PLAN

A  
203

PROJ. NO. 2024-168

UTILITY PLAN

SCALE: 1"=20'

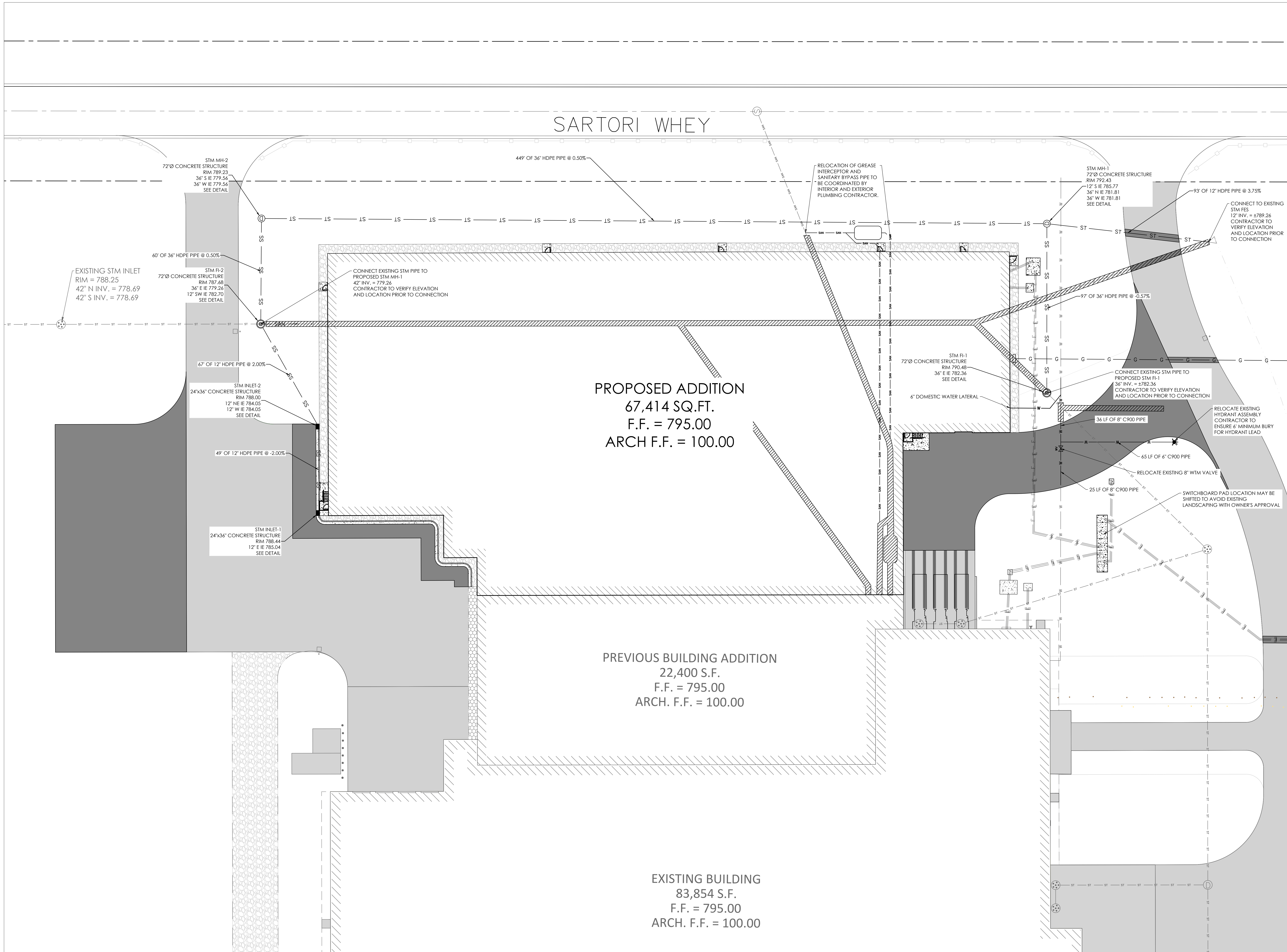


SARTORI WHEY

PROPOSED ADDITION  
67,414 SQ.FT.  
F.F. = 795.00  
ARCH F.F. = 100.00

PREVIOUS BUILDING ADDITION  
22,400 S.F.  
F.F. = 795.00  
ARCH. F.F. = 100.00

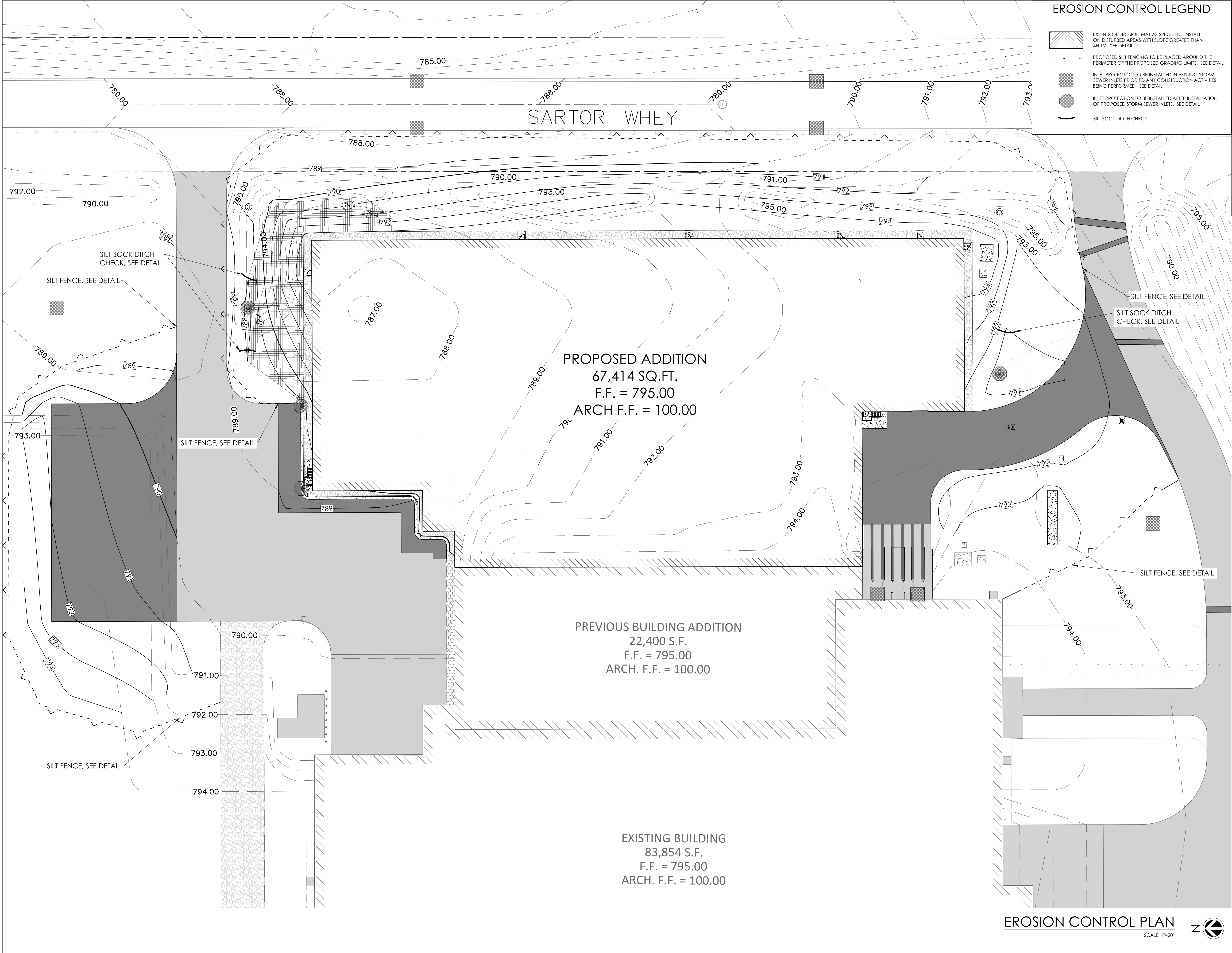
EXISTING BUILDING  
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F.F. = 795.00  
ARCH. F.F. = 100.00





July 10, 2025

P:\2024-CONTRACTS\2024-168 Sartori Whey Plant Addition And Remodel\Phase - 2\Construction Documents\3.3 Site\2024-168 - Base.dwg



EROSION CONTROL LEGEND

- EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4H:1V. SEE DETAIL.
- PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL.
- INLET PROTECTION TO BE INSTALLED IN EXISTING STORM SEWER INLETS PRIOR TO ANY CONSTRUCTION ACTIVITIES BEING PERFORMED. SEE DETAIL.
- INLET PROTECTION TO BE INSTALLED AFTER INSTALLATION OF PROPOSED STORM SEWER INLETS. SEE DETAIL.
- SILT SOCK DITCH CHECK



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DATE	ISSUE
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ISSUE DATE: JULY 10, 2025

EAST ADDITION

**SARTORI WHEY**

4200 COUNTY HIGHWAY 1PP, PLYMOUTH, WISCONSIN 53073

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210 MILWAUKEE, WI 53203

PERMIT SET

DRAWN BY: MBS

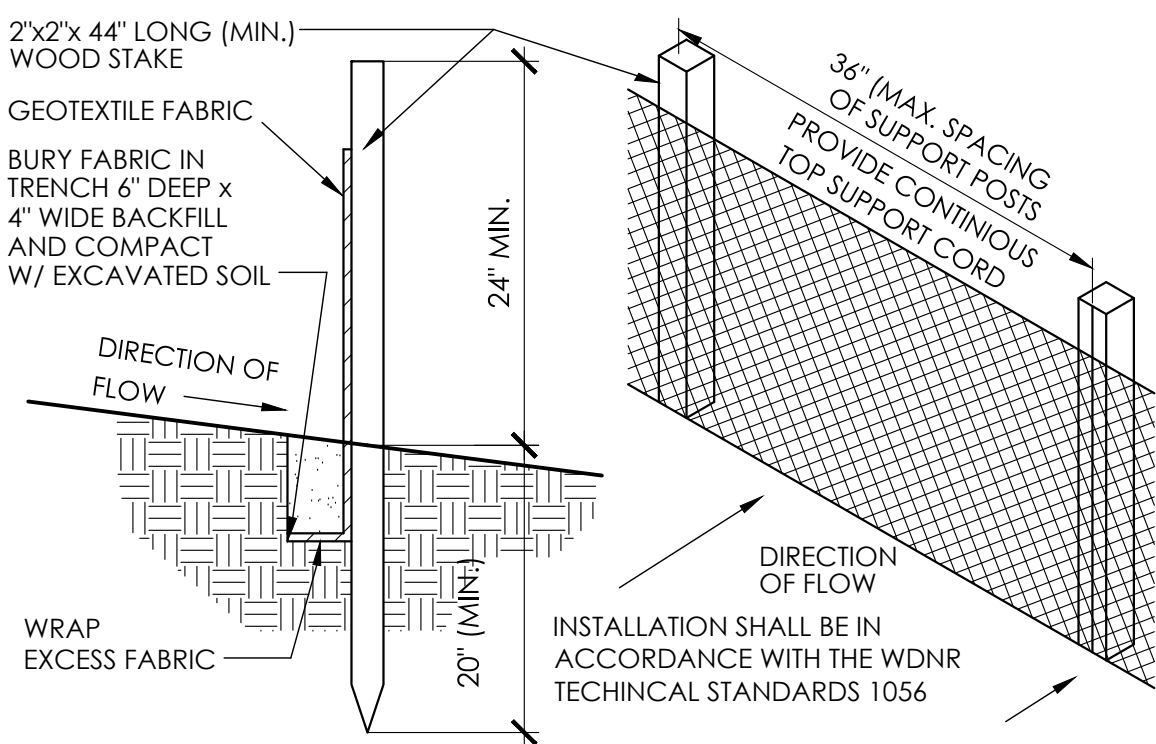
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EROSION CONTROL PLAN

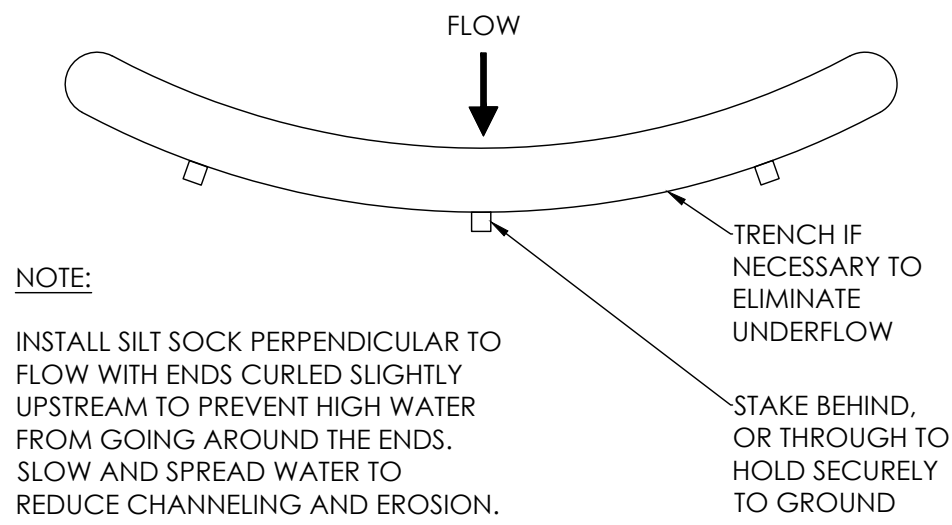
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PROJ. NO. 2024-168

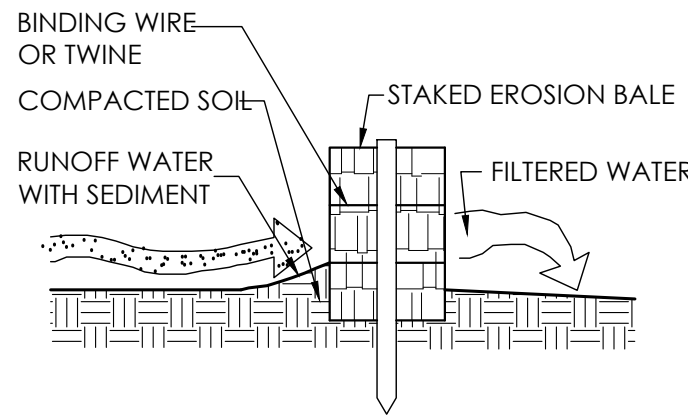




SILT FENCE SECTION & DETAIL

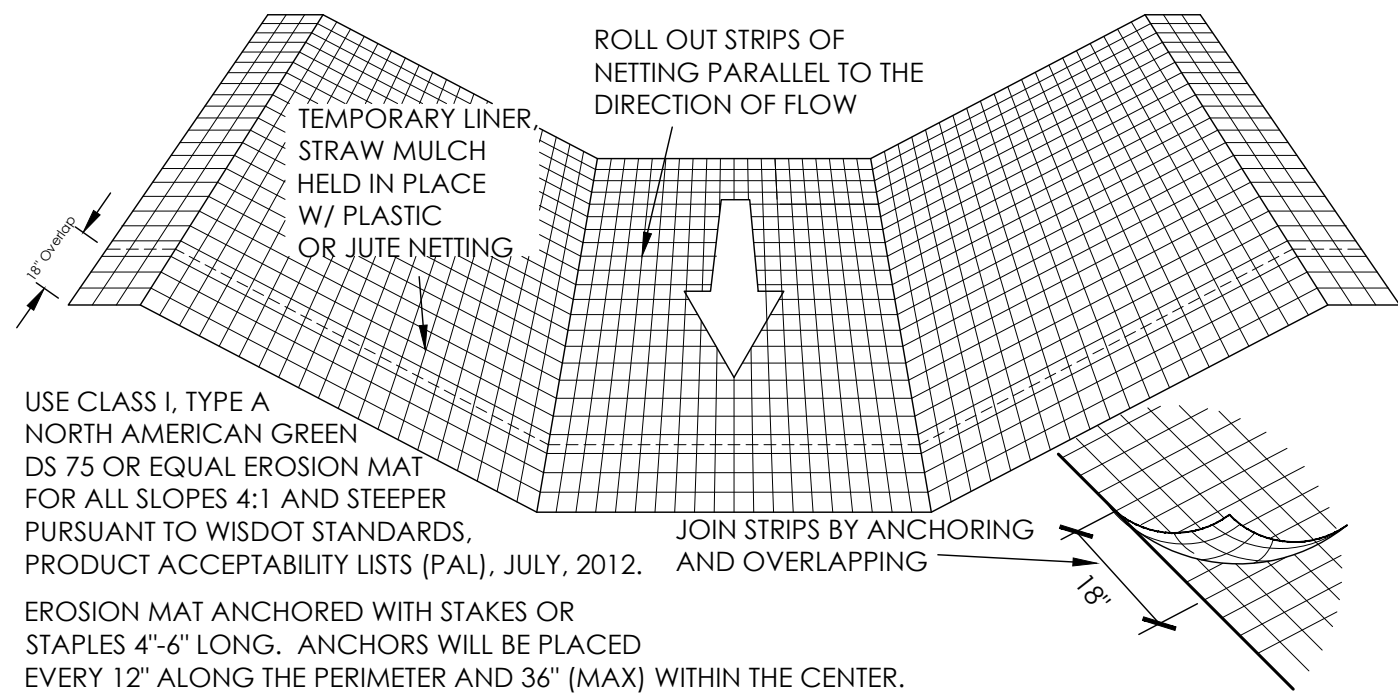


SILT SOCK DITCH CHECK



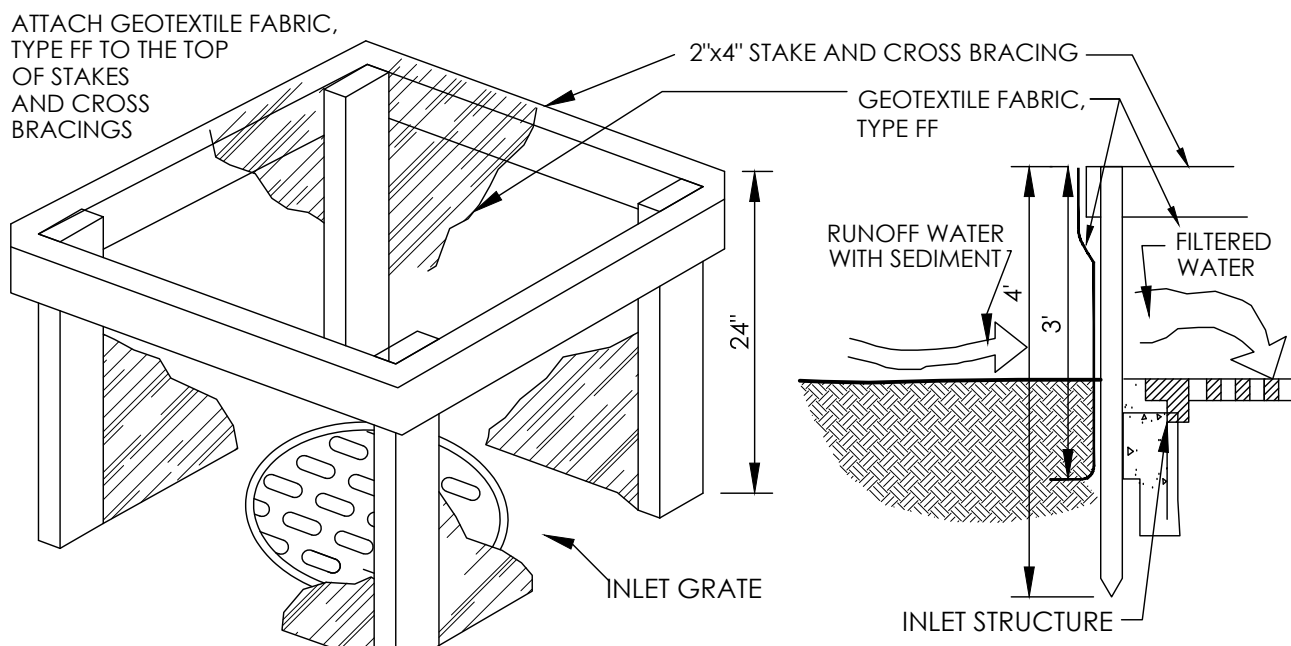
GENERAL NOTES:  
EROSION CONTROL AND ALL SITE WORK TO BE PERFORMED UNDER "BEST MANAGEMENT PRACTICES" IN THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK

SEDIMENT CONTROL BARRIER SECTION



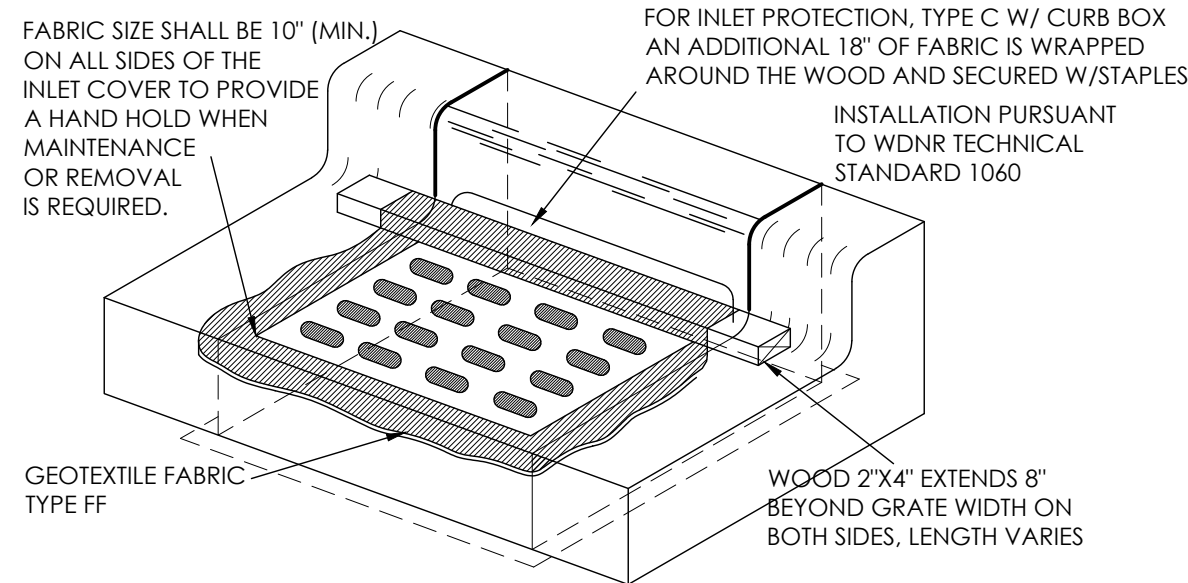
EROSION MATTING DETAIL  
(FOR SIDE SLOPES ONLY - NOT FOR CHANNELIZED FLOW)

FABRIC SHALL BE REPLACED AT THE ENGINEERS DISCRETION.  
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.



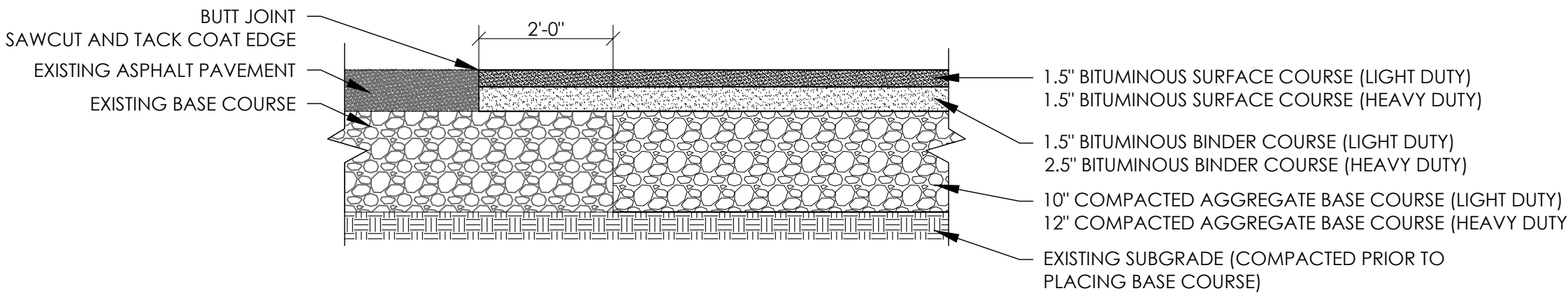
INLET PROTECTION, TYPE 'A'

INSTALLATION PURSUANT TO WDNR TECHNICAL STANDARD 1060

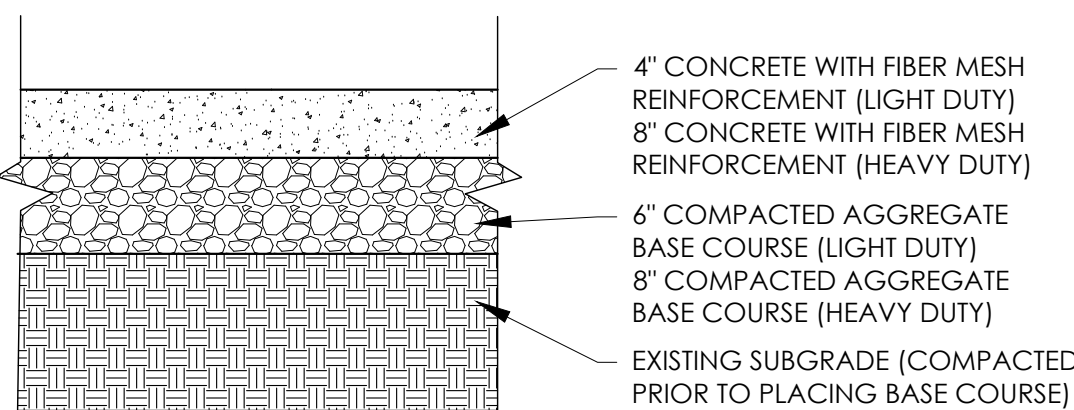


INLET PROTECTION, TYPE 'C'

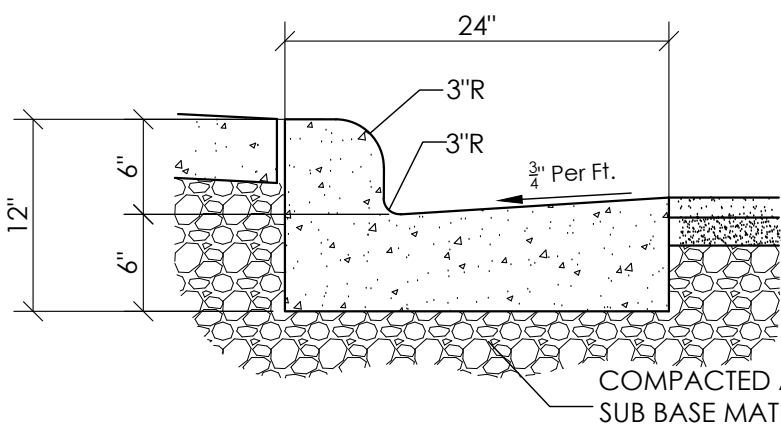
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.  
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.  
TYPE 'C' INLET PROTECTION TO BE IMPLEMENTED UPON CONSTRUCTION OF CURB AND GUTTER. PRIOR TO CURB AND GUTTER CONSTRUCTION, TYPE 'A' INLET PROTECTION SHALL BE PROVIDED.



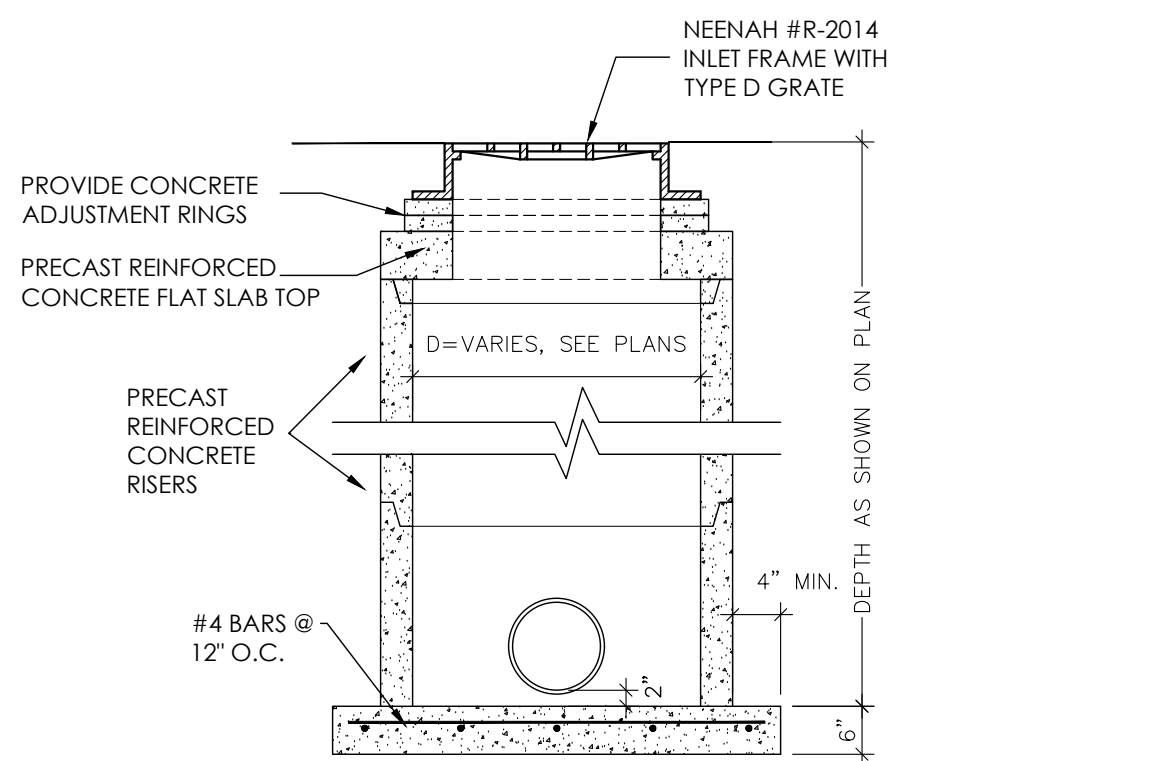
ASPHALT PAVEMENT CROSS SECTION



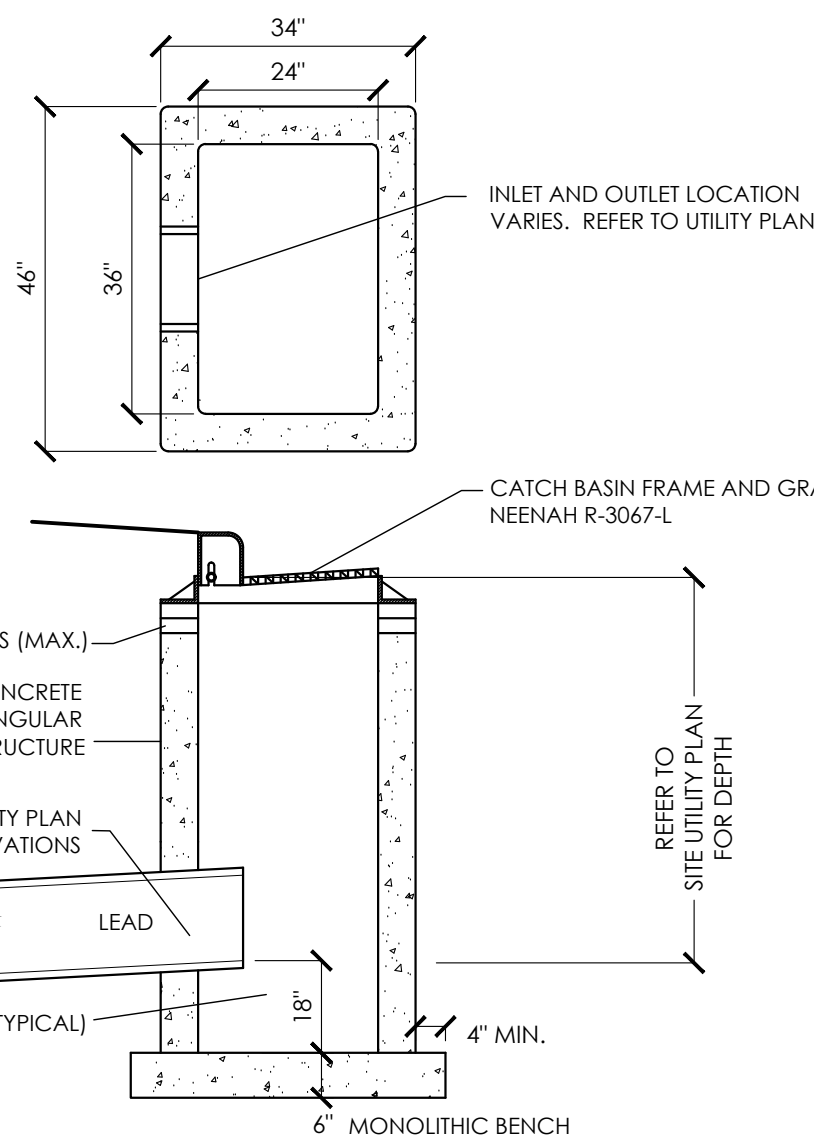
CONCRETE PAVEMENT CROSS SECTION



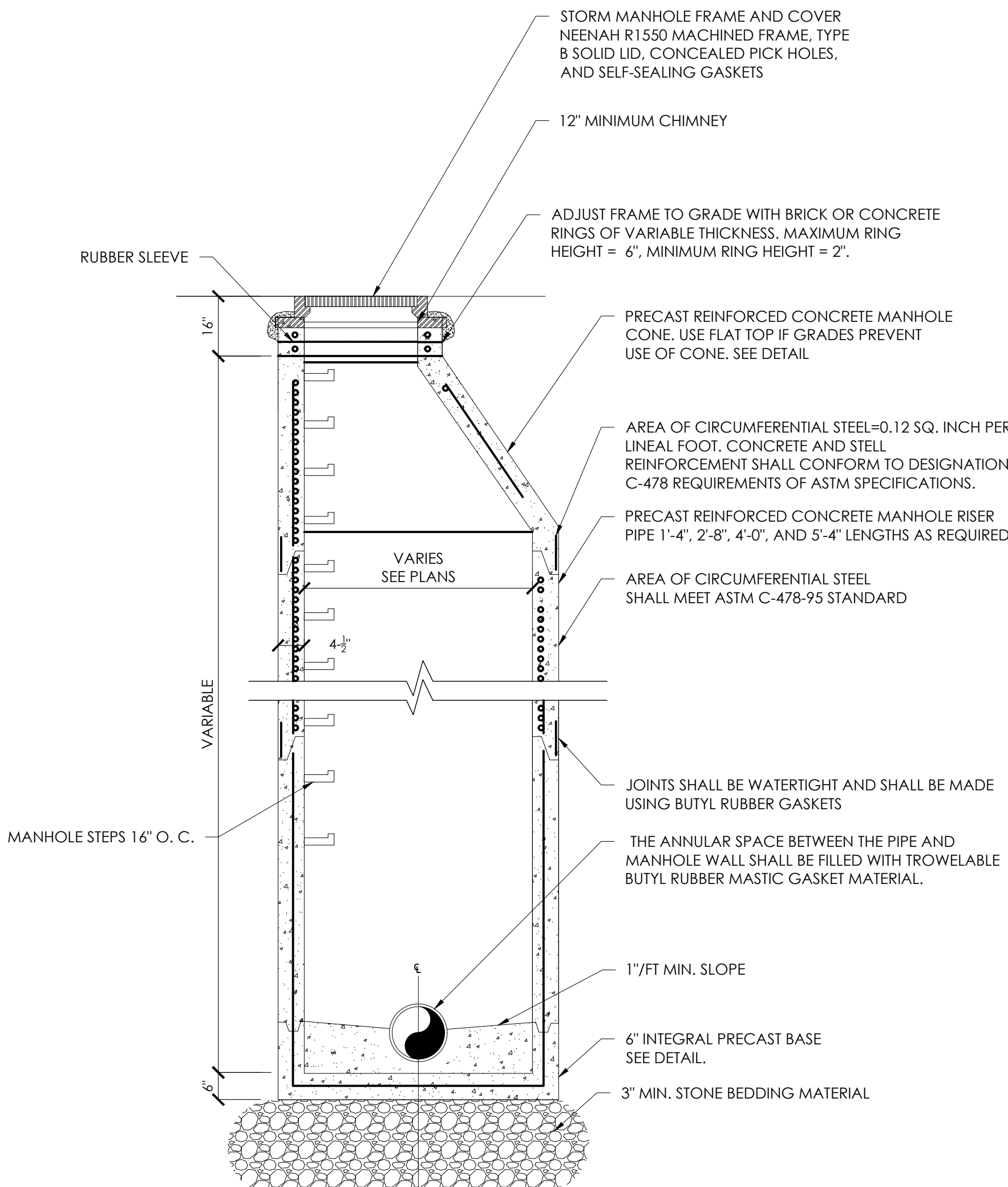
24" CURB & GUTTER SECTION



PRECAST REINFORCED CONCRETE ACCEPTABLE  
STORM FIELD INLET (FI) SECTION



PRECAST REINFORCED CONCRETE ACCEPTABLE  
CURB INLET SECTION



STORM MANHOLE NOTES:

1. PRECAST ADJUSTING RINGS TO BE REINFORCED WITH ONE HOOP OF STEEL CENTERED WITH THE RING. WHERE NECESSARY, RINGS SHALL BE GROOVED TO RECEIVE STEP.
2. CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO DESIGNATION C-478 REQUIREMENTS OF ASTM SPECIFICATIONS.
3. 3" MIN. BEDDING MATERIAL REQUIRED UNDER MANHOLE BASE AND AND BACKFILLED STRUCTURE WITH GRANULAR BACKFILL MATERIAL.
4. SEE STANDARD SPECIFICATIONS, FILE NO. 12 FOR PRECAST MANHOLE AND FILE NO. 13 FOR MANHOLE INVERTS, INCLUDING INVERTS OF LATERAL SEWERS THAT CONNECT DIRECTLY TO MANHOLES.

STORM MANHOLE DETAIL

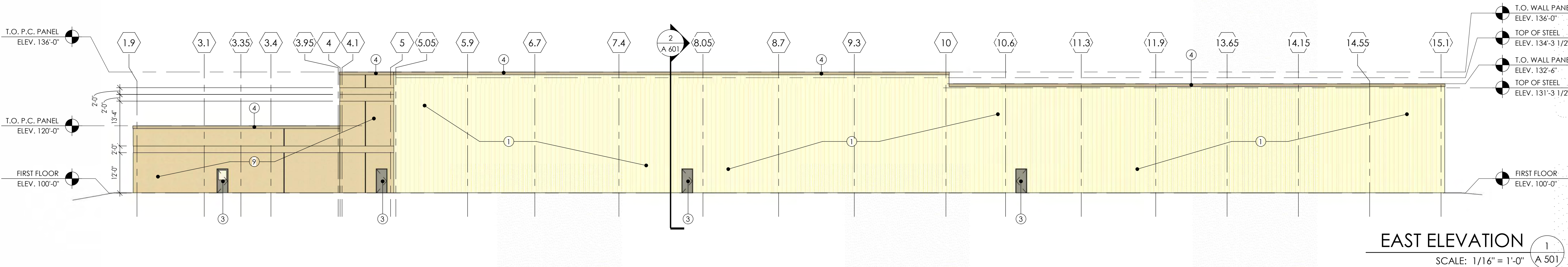
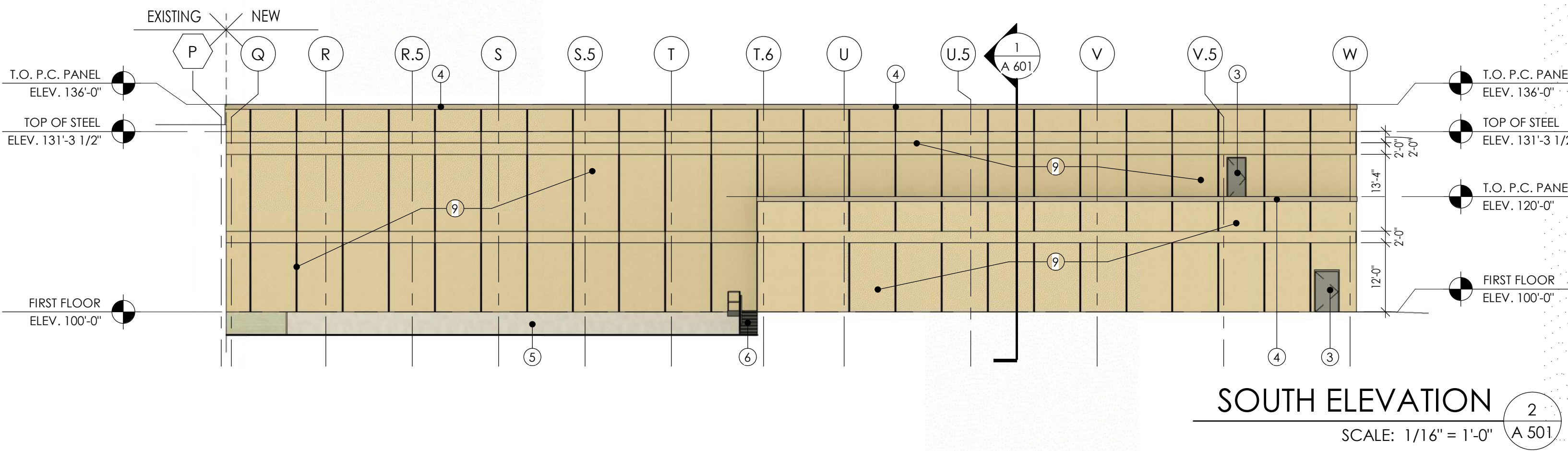
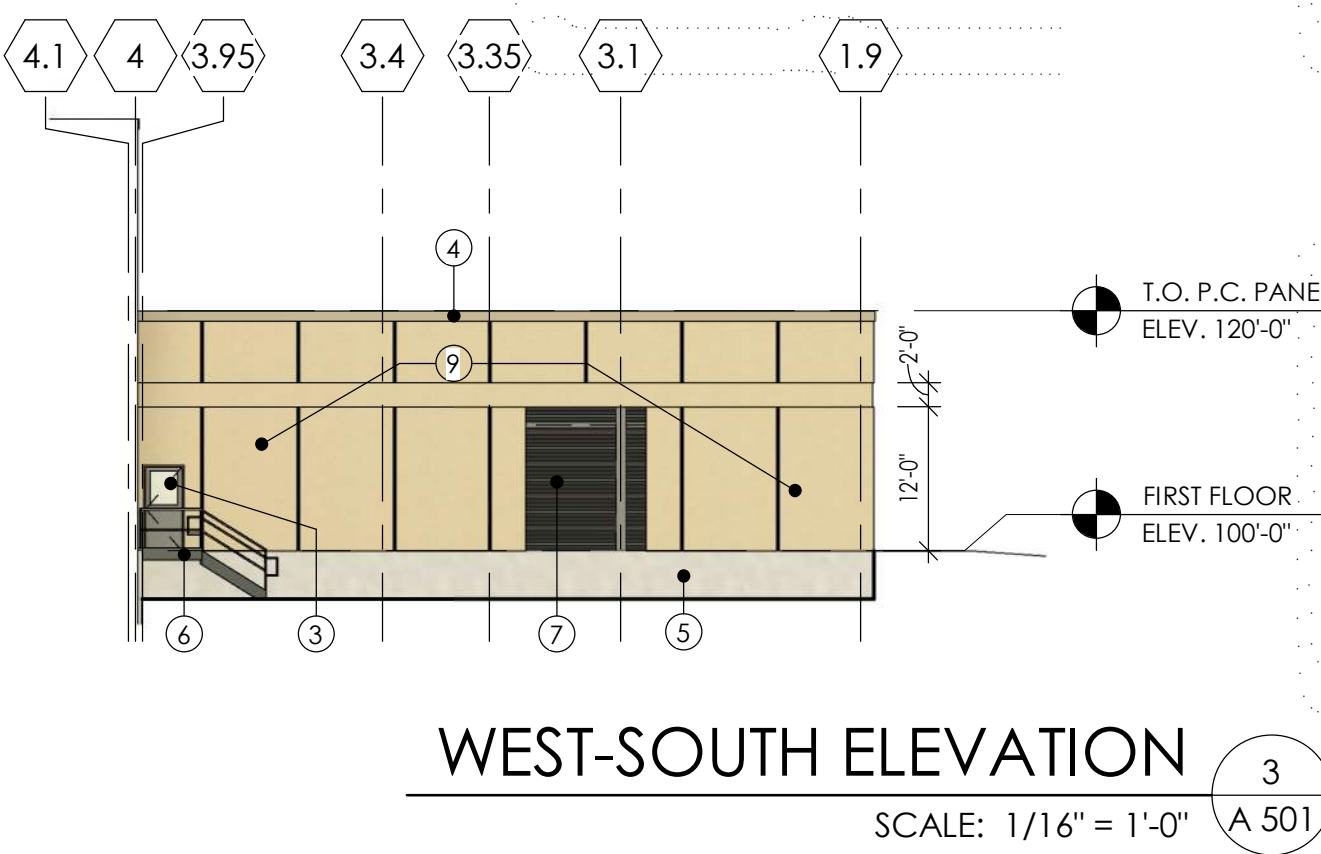
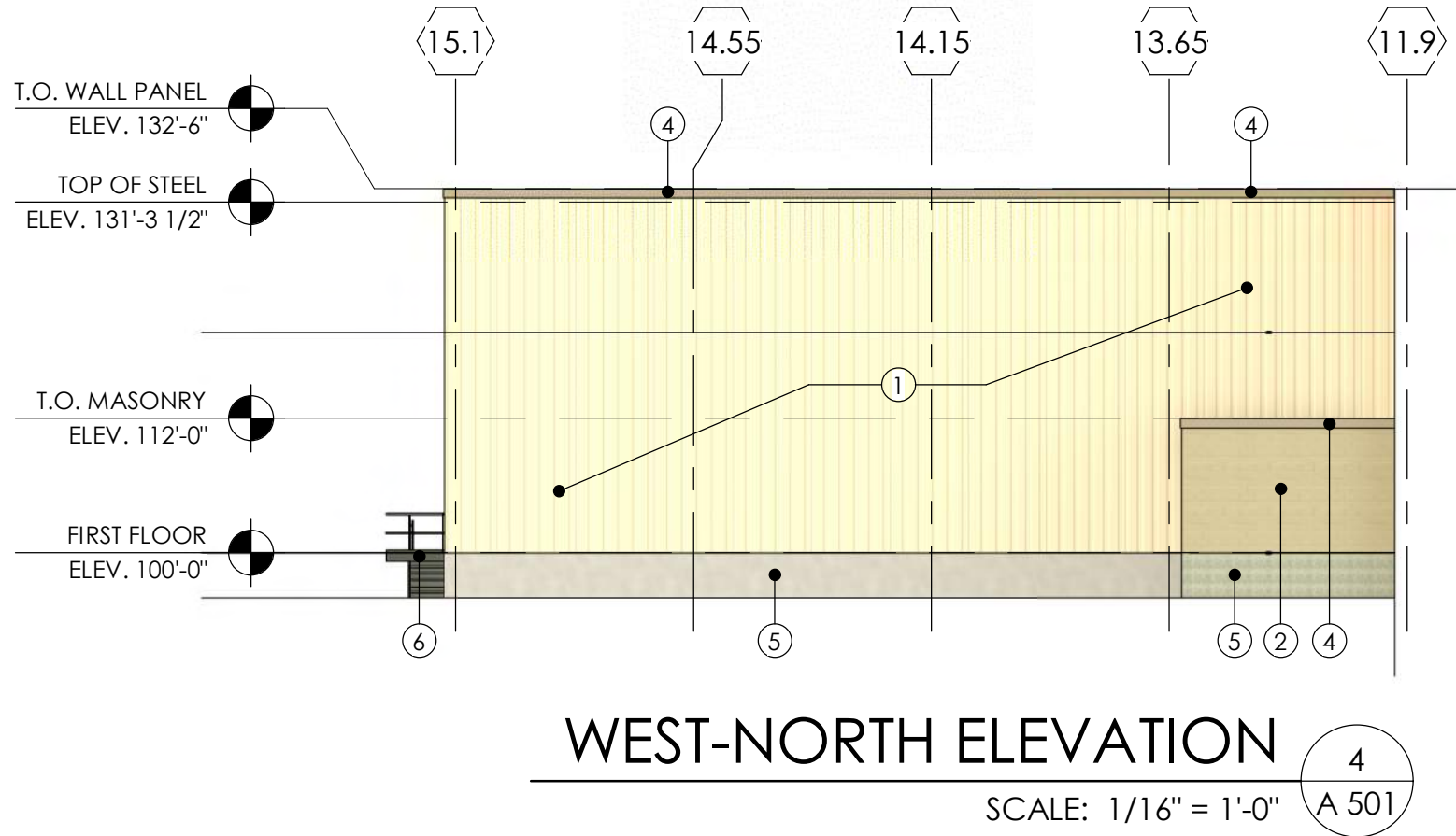
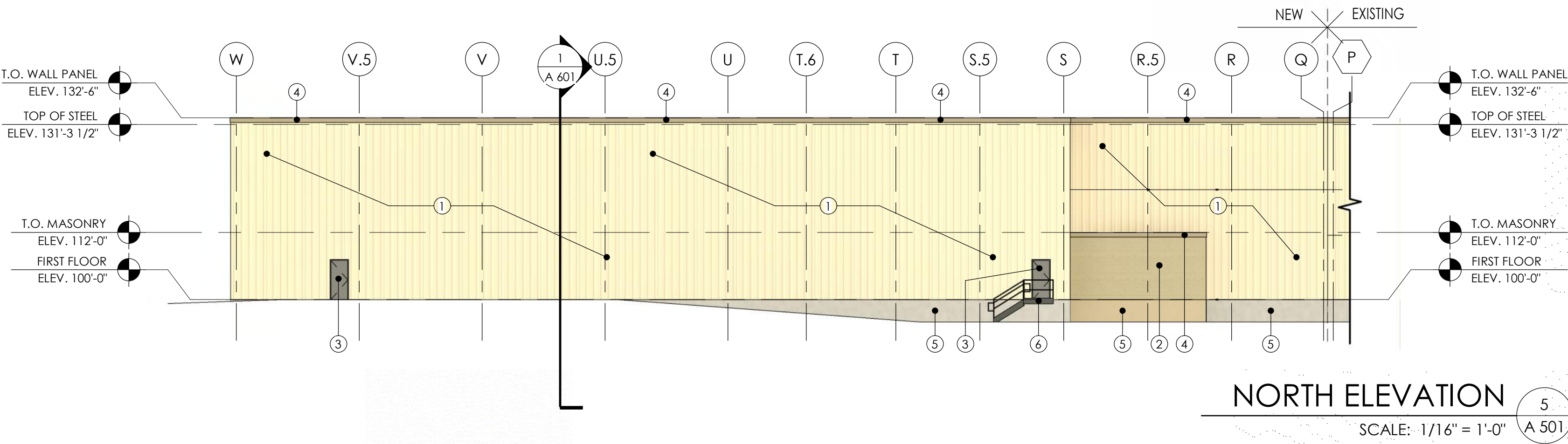


ELEVATION KEYNOTES	
NO.	DESCRIPTION
1	INSULATED METAL WALL PANELS - COLOR TO MATCH EXISTING
2	CMU WALL - COLOR TO MATCH EXISTING
3	HOLLOW METAL DOOR AND FRAME - COLOR TO MATCH EXISTING
4	PRE-FINISHED METAL FASCIA- COLOR TO MATCH EXISTING
5	EXPOSED CONCRETE FOUNDATION
6	STEEL FRAMED STAIR AND GUARDRAIL ASSEMBLY WITH OPEN GRATE METAL TREADS - STYLE AND COLOR TO MATCH EXISTING
7	OVERHEAD DOOR - STYLE AND COLOR TO MATCH EXISTING
9	INSULATED PRECAST WALL PANELS - COLOR TO MATCH EXISTING



REVISIONS:

NOTICE TO BIDDERS  
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SPECIFICATION SECTIONS TO DETERMINE THE IMPACT  
OF OTHER SECTIONS OF WORK ON THEIR OWN WORK  
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ISSUE DATE: JULY 7th, 2025

EAST ADDITION

SARTORI WHEY

4200 COUNTY HIGHWAY 'PP', PLYMOUTH, WISCONSIN 53073

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 3131 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

PERMIT SET

DRAWN BY:

AJK

CHECKED BY:

KED

EXTERIOR ELEVATIONS

A  
501

PROJ. NO. 2024-168





REVISIONS:

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OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.  
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ISSUE DATE: JULY 7th, 2025

EAST ADDITION

SARTORI WHEY

4200 COUNTY HIGHWAY 'PP', PLYMOUTH, WISCONSIN 53073

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

PERMIT SET

DRAWN BY: AJK

CHECKED BY: KED

RENDERINGS

A  
901

PROJ. NO. 2024-168





REVISIONS:

NOTICE TO BIDDERS  
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ISSUE DATE: JULY 7th, 2025

EAST ADDITION

SARTORI WHEY

4200 COUNTY HIGHWAY 'PP', PLYMOUTH, WISCONSIN 53073

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

PERMIT SET

DRAWN BY: AJK

CHECKED BY: KED

RENDERINGS

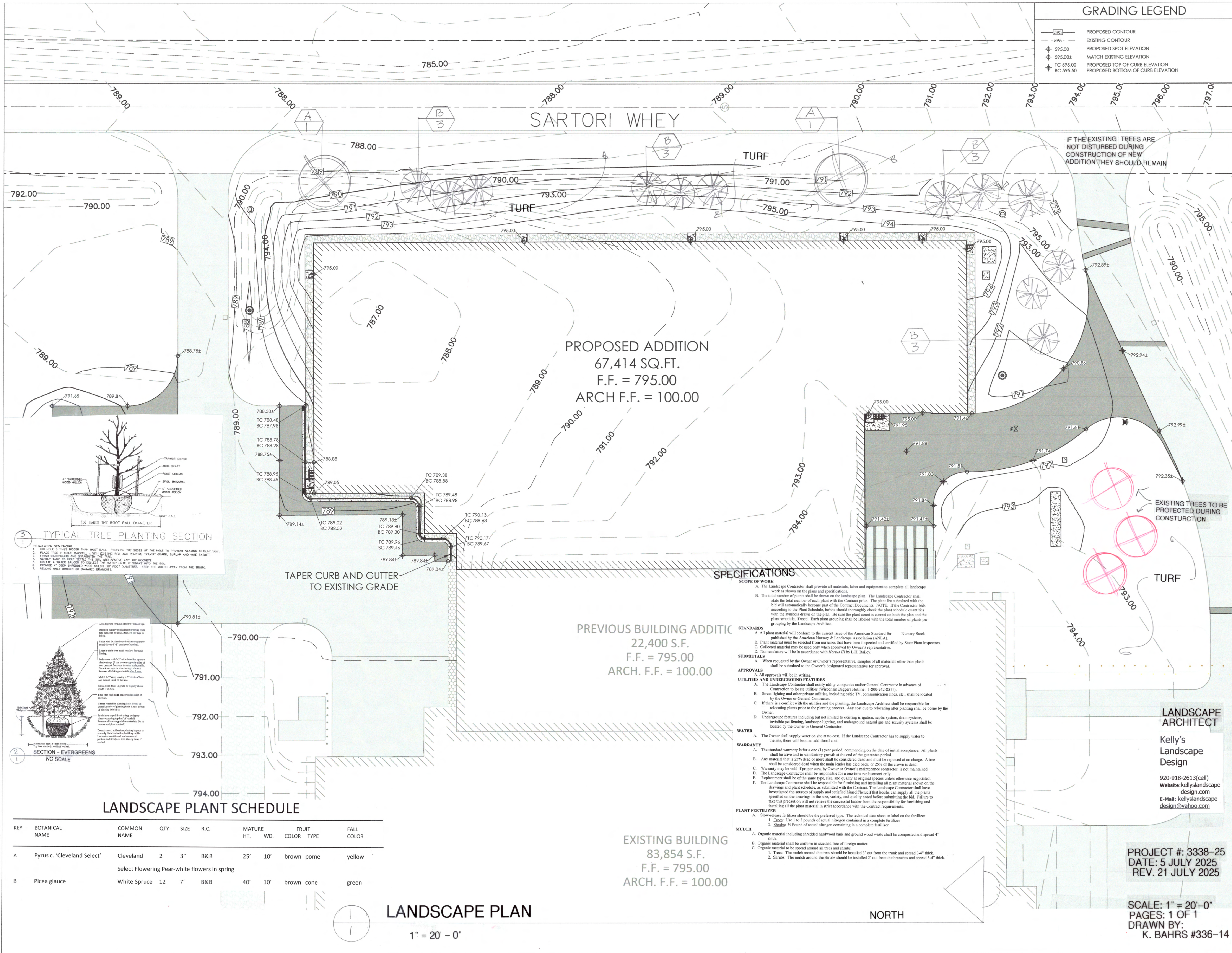
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PROJ. NO. 2024-168



JULY 10, 2025

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GRADING LEGEND

- 595.00 PROPOSED CONTOUR
- 595.00 EXISTING CONTOUR
- 595.00 PROPOSED SPOT ELEVATION
- 595.00 MATCH EXISTING ELEVATION
- 595.00 PROPOSED TOP OF CURB ELEVATION
- 595.00 PROPOSED BOTTOM OF CURB ELEVATION



REVISIONS:

DATE ISSUE

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LANDSCAPE PLAN FOR:

EAST ADDITION  
SARTORI WHEY

4200 COUNTY HIGHWAY PP, PLYMOUTH, WISCONSIN 53073  
1135A MICHIGAN AVE. SIEBOYGAN, WI 53081 | (262) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210 MILWAUKEE, WI 53203

PERMIT SET

DRAWN BY:

MBS

CHECKED BY:

JRV

LANDSCAPE PLAN

LS

PROJ. NO. 2024-148

LANDSCAPE ARCHITECT

Kelly's  
Landscape  
Design

920-918-2613 (cell)  
Website: kellyslandscape  
design.com  
E-Mail: kellyslandscape  
design@yahoo.com

PROJECT #: 3338-25  
DATE: 5 JULY 2025  
REV. 21 JULY 2025

SCALE: 1" = 20'-0"  
PAGES: 1 OF 1  
DRAWN BY:  
K. BAHRS #336-14

PROPOSED ADDITION  
67,414 SQ.FT.  
F.F. = 795.00  
ARCH F.F. = 100.00

PREVIOUS BUILDING ADDITION  
22,400 S.F.  
F.F. = 795.00  
ARCH. F.F. = 100.00

EXISTING BUILDING  
83,854 S.F.  
F.F. = 795.00  
ARCH. F.F. = 100.00

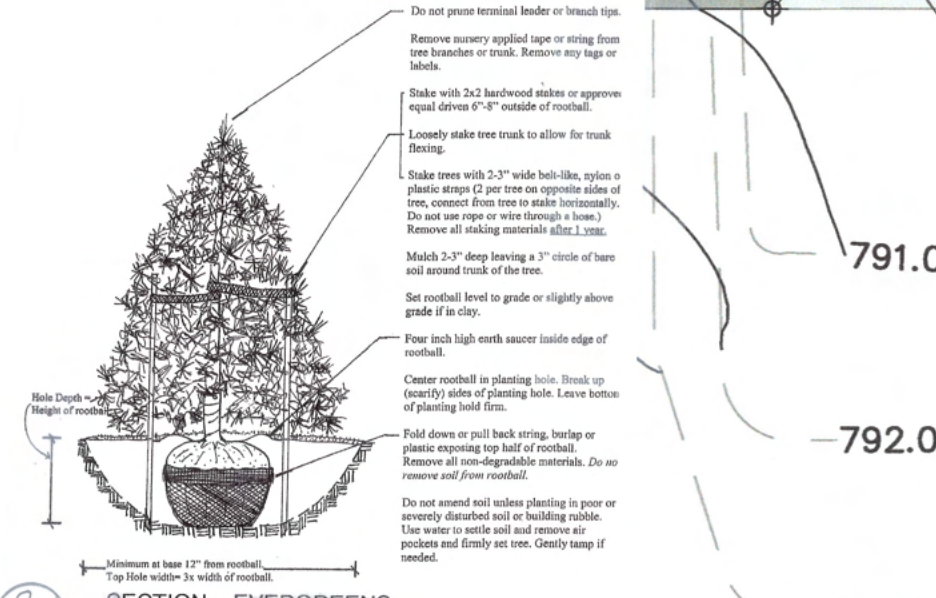
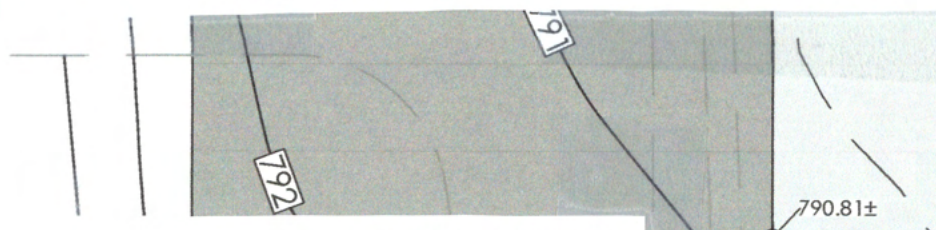
LANDSCAPE PLAN

1" = 20' - 0"

NORTH

TYPICAL TREE PLANTING SECTION

1. INSTALLATION SEQUENCING:  
a. DIG HOLE 3 TIMES DEEPER THAN ROOT BALL. ROUGHEN THE SIDES OF THE HOLE TO PREVENT GLAZING IN CLAY SOIL.  
b. PLACE 2" SLICE OF MULCH (BARK) IN HOLE. COVERING SOIL AND EXPOSURE. TRUNK GUARD, MULCH, AND WIRE BASKET.  
c. PLACE BASKET AND MULCH IN HOLE. TRUNK GUARD, MULCH, AND WIRE BASKET.  
d. GENTLY TAMP TO HELP SETTLE THE SOIL AND REMOVE ANY AIR POCKETS.  
e. CREATE A WATER SAUCER TO COLLECT WATER. IT SHOULD BE 1" DEEPER THAN THE SOIL.  
f. PROVIDE A DEEP SHREDED WOOD MULCH (12" FOOT DIAMETER). KEEP THE MULCH AWAY FROM THE TRUNK.  
g. REMOVE ONLY BRANCHES OF DAMAGED BRANCHES.



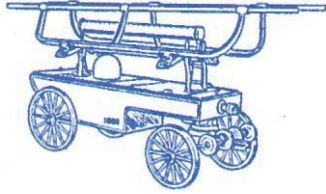
SECTION - EVERGREENS

NO SCALE

LANDSCAPE PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	R.C.	MATURE HT.	WD.	FRUIT COLOR	TYPE	FALL COLOR
A	Pyrus c. 'Cleveland Select'	Cleveland	2	3"	B&B	25'	10'	brown	pome	yellow
		Select Flowering Pear-white flowers in spring								
B	Picea glauca	White Spruce	12	7'	B&B	40'	10'	brown	cone	green





## Plymouth Fire and Rescue

*Serving Plymouth since 1868*

*Ryan Pafford  
Fire Chief*

*920-893-3744*

*rpafford@plymouthfd.com*

### MEMORANDUM

**To:** City Administrator Blakeslee, Assistant City Administrator Jack Johnston, Members of the Plan Commission

**From:** Fire Chief Ryan Pafford

**Date:** 7/14/2025

**Re:** Sartori Expansion

After review and consideration of the proposed site plan for the proposed addition for Sartori located at the corner of Sartori Whey and County Road PP, an agreement of fire department access should be included to have an area for a fire department vehicle to safely maneuver. This could be accomplished with a graded area that is either gravel or paved at that connects access from the parking lot on the west side of the building to Sartori Whey. The current site plan does show a proposed road that is acceptable to fire department standards. This road shall be maintained year round.

Code reference is the following from *NFPA 1, Chapter 18, Fire Department Access and Water Supply*;

#### **18.2.3.2.2**

*Fire apparatus access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft (46 m) from fire apparatus access roads as measured by an approved route around the exterior of the building or facility.*

#### **18.2.3.5.1.1**

*Fire apparatus access roads shall have an unobstructed width of not less than 20 ft (6.1 m).*

#### **18.2.3.5.4 Dead Ends.**

*Dead-end fire apparatus access roads in excess of 150 ft (46 m) in length shall be provided with approved provisions for the fire apparatus to turn around.*

If you have any other questions, please reach out.

920-893-3744

rpafford@plymouthfd.com

Sincerely,

Ryan Pafford

Chief

Plymouth Fire and Rescue